

# JULY 2006

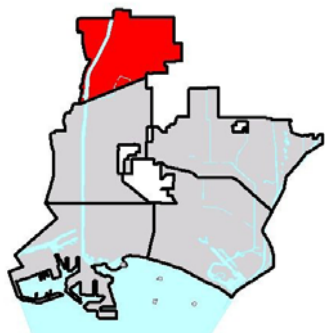
## North Long Beach Community Planning Bulletin

City of Long Beach ■ Department of Planning and Building  
Community and Environmental Planning Division

[www.longbeach.gov/plan/pb/cpd](http://www.longbeach.gov/plan/pb/cpd)



Revised July 13, 2006



The City of Long Beach is divided into five planning areas with a Community Planner assigned to each geographic area. This monthly bulletin is compiled by your community planner as a forum to update citizens on new developments and neighborhood issues as a way of keeping citizens involved in the planning process. Please contact Scott Mangum, North Long Beach Community Planner, at (562) 570-6435 or via email at [Scott.Mangum@longbeach.gov](mailto:Scott.Mangum@longbeach.gov) if you have questions about this bulletin.

This bulletin is also available on the internet at:  
[www.longbeach.gov/plan/pb/cpd](http://www.longbeach.gov/plan/pb/cpd)  
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### NEW APPLICATIONS

#### **1. Standards Variance request for a new single family dwelling at 20 W. Del Amo Blvd. (Case 0607-04) MH (see Attachment 17)**

The 33' x 73' (2,409 SF) vacant lot is zoned R-3-T (Townhouse Residential). The applicant is proposing to build a new 1,353 SF two-story single family house and two-car garage with a 3' side yard setback and an 8' front yard setback, where a 3.3' side yard setback and 15' front yard setback are required by code.

The Zoning Administrator **Public Hearing** is tentatively scheduled for **August 7, 2006**, at 2:00 P.M. in Planning and Building 7<sup>th</sup> Floor Conference Room. Written comments may be addressed to the Zoning Administrator, Carolyne Bihn, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

#### **2. Staff Site Plan Review Cellular Antenna Addition to existing SCE Tower at roughly Greenleaf Ave. and 710 Freeway (Case 0606-30) CJ (see Attachment 18)**

The applicant proposes to attach new cellular antennas, at 54' in height, to an existing 125' tall SCE transmission tower and locate equipment cabinets at ground level screened by a fence. This portion of the SCE Right-of-Way is currently used as a nursery. The site is located in the PR (Public Right-of-Way) zone. Attached/roof mounted cellular and personal communication services are permitted by right in the Public Right-of-Way zone, but are subject to special development standards and must be reviewed through Staff Site Plan Review.

#### **3. Conditional Use Permit for Automatic Car Wash at 5400 Atlantic Ave. (Case 0606-23) LH (see Attachment 9)**

A new 950 SF automatic drive-thru car wash is proposed in addition to the existing gas station at 5400 Atlantic Avenue. The 110' x 180' site at the Northeast corner of Atlantic Ave and Market Street is zoned CCA (Community Automobile-Oriented Commercial). A Conditional Use Permit is required for car washes in the CCA zone. The automated system proposed operates using a PIN number purchased by the customer and entered into a console. Signals alert the driver to enter and automated wash bay, to

# North Long Beach - Site Location Map

**Legend:**

- Library (Red square)
- Park (Green stippled area)
- School (Blue rectangle)

**Scale:** 0, 1,250, 2,500, 5,000 Feet

**North Arrow:** N

**Numbered Sites:**

- 20 W. Del Amo Blvd. – SV for new single-family house (8/7 ZA)
- Greenleaf & 710 – SSPR for Cellular Antenna Addition to SCE Tower
- 5400 Atlantic Ave. – CUP for Automatic Car Wash (9/7 PC?)
- 6510 Cherry Ave. – Mod to AUP for crematory addition (7/10 ZA)
- 1115 E. Market St. – SSPR for Cellular Antenna Addition at a Church
- 6956 Cherry Ave. – SSPR for Cellular Antenna Addition to SCE Tower
- 2017 E. Harding St. – SSPR for Single Family House on Narrow Lot
- 2801 E. Artesia Blvd. – SSPR for 3877 SF retail building
- 6640 Cherry Ave. – CUP for Check Cashing (PC)

1. 20 W. Del Amo Blvd. – SV for new single-family house (8/7 ZA)
2. Greenleaf & 710 – SSPR for Cellular Antenna Addition to SCE Tower
3. 5400 Atlantic Ave. – CUP for Automatic Car Wash (9/7 PC?)
4. 6510 Cherry Ave. – Mod to AUP for crematory addition (7/10 ZA)
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6. 6956 Cherry Ave. – SSPR for Cellular Antenna Addition to SCE Tower
7. 2017 E. Harding St. – SSPR for Single Family House on Narrow Lot
8. 2801 E. Artesia Blvd. – SSPR for 3877 SF retail building
9. 6640 Cherry Ave. – CUP for Check Cashing (PC)

enter the automated dryer bay, then to exit the structure. Proposed hours of operation are 7 am to 8 pm.

The Planning Commission **Public Hearing** is tentatively scheduled for **September 7, 2006**, at 1:30 P.M. in the City Council Chambers of City Hall. Written comments may be addressed to the Commission, in-care-of Carolyn Bihn, Zoning Administrator, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

**4. Modification to Administrative Use Permit at 6510 Cherry Ave. (Case 0502-10) MM (see Attachment 11)**

The applicant applied to enlarge an approved crematory unit and caretaker's residence by a total of 184 SF to attach the crematory unit to the mortuary structure and to allow for a viewing area. As background, the Zoning Administrator approved an AUP request for a 1,007 SF second story addition for a caretakers residence and standards variances for setbacks and parking at the February 6, 2006 Zoning Administrator hearing. **The modification to the AUP was approved at the July 10, 2006, Zoning Administrator hearing.**

**5. Staff Site Plan Review for a Cellular Antenna Addition within an existing Church Steeple at 1115 E. Market St. (Case 0605-47) LH (see Attachment 14)**

The applicant proposes to locate new cellular antennas within an existing Church Steeple and locate equipment cabinets onsite within an existing building. The steeple contains antennas from another cellular company, approved in 2002. The site is located in the CNR (Neighborhood Commercial and Residential) zone. Attached/roof mounted cellular and personal communication services are permitted by right in Commercial zones, but are subject to special development standards and must be reviewed through Staff Site Plan Review. The request was **approved** by through Staff Site Plan Review.

**6. Staff Site Plan Review for a Cellular Antenna Addition to existing SCE Tower at 6956 Cherry Ave. (Case 0605-48) SV (see Attachment 15)**

The applicant proposes to attach new cellular antennas, at 64' in height, to an existing SCE transmission tower and locate equipment cabinets at ground level screened by a wall. The 122' tall tower is approximately 1000 feet from Cherry Avenue. The site is located in the IG (General Industrial) zone. Attached/roof mounted cellular and personal communication services are permitted by right in Industrial zones, but are subject to special development standards and must be reviewed through Staff Site Plan Review.

**7. Staff Site Plan Review for new single-family dwelling on a narrow lot at 2017 E. Harding St. (Case 0502-22) MM**

The lot at 2017 E. Harding is zoned R2-N. Staff Site Plan Review is required because of the 25' width of the lot. A two story, three-bedroom, two and ½ bathroom 1,600 SF house is proposed with two-car garage and driveway in the front. The project was reviewed through Staff Site Plan Review and **approved** with conditions. A standards variance would be necessary based on the width and location of the driveway, adjacent to a proposed driveway on the site directly West of the property. As background a Staff Site Plan Review application was approved in 2003, however, the project was not constructed and the entitlements lapsed.

## **PENDING CASES PREVIOUSLY REPORTED ON**

### **8. Staff Site Plan Review for new 3,877 SF retail building at 2801 E. Artesia Blvd. (Case 0303-28) JU (see Attachment 19)**

The 13,281 SF lot, zoned CCA (Commercial Community Automobile-Oriented), is currently vacant. A one-story 3,877 SF retail building with three lease areas and 17 parking spaces is proposed. As background, the applicant filed for Site Plan Review in 2003, but was never approved. The project will be reviewed through Staff Site Plan Review.

### **9. Conditional Use Permit for Check Cashing at 6640 Cherry Ave. (Case 0605-29) JW (see Attachment 1)**

A Check Cashing operation is proposed within existing commercial center at 6640 Cherry Avenue (Northeast corner of Cherry Avenue and Artesia Boulevard). Orange Rocket is the proposed operator. The 1,810 SF vacant tenant space was previously occupied by an auto-parts store. A Conditional Use Permit is required for Check Cashing in the CCA zone. The Planning Commission will hear the CUP request at a date uncertain.

### **10. Staff Site Plan Review for new two story 3,468 SF office building at 6901 Cherry Ave. (Case 0605-18) JU (see Attachment 16)**

The 970' x 130' site, zoned IG (General Industrial), is currently developed as a trucking parking lot with a trailer office. A new 3,468 SF 2-story office building with 15 parking spaces is proposed along with the removal of the existing trailer office and new paving at the entrance of the site. The project was reviewed through Staff Site Plan Review and comments were provided to the applicant for a redesign.

### **11. Staff Site Plan Review for new 3,962 SF retail building at 6598 Cherry Ave. (Case 0604-30) IB (see Attachment 6)**

The 15,575 SF lot, zoned CCA (Commercial Community Automobile-Oriented) is currently vacant. A one-story 3,962 SF retail building with four lease areas and 21 parking spaces is proposed. The project was reviewed through Staff Site Plan Review. Design comments addressed the lack of consistency with the North Long Beach Design Guidelines with respect to materials and the lack of windows or building entrances on the Cherry Avenue elevation.

### **12. Staff Site Plan Review for new 24,784 SF 2-story office building at 5850 Obispo Ave. (Case 0604-36) LH (see Attachment 8)**

The site, zoned IL (Light Industrial), is currently developed as a parking lot and also contains several dilapidated structures. A new 24,784 SF 2-story office building with 102 parking spaces is proposed by TA Chen International. TA Chen International, a manufacturer and distributor of stainless steel products, has offices and a warehouse on the west side of the street. The project was reviewed through Staff Site Plan Review. Design comments addressed the location of the building entrance and the overall design theme of the building.

**13. Conditional Use Permit for a Church at 77 E. Market St. (Case 0603-96) MM (see Attachment 2)**

The triangular shaped lot at the Northeast corner of Market and Dairy is zoned CNR (Neighborhood Commercial and Residential). The structure was previously operated as a bar/tavern. Churches are permitted in the CNR zone with a Conditional Use Permit. The church, which currently conducts services at this location, was cited by code enforcement for operating without a CUP. The Church has requested 45-days to locate available off-site parking. The Planning Commission will hear the CUP request at a date uncertain.

**14. Conditional Use Permit for new cellular Monopole at 1900 South St. (Case 0603-72) LH (see Attachment 12)**

A 45' high cellular monopole, designed as a freestanding "steeple" supported by three poles with a sign shielding the antennas, is proposed in the parking lot of the Glad Tidings Church. The equipment cabinets are proposed on the ground adjacent to the pole enclosed by a 7' high block wall. A Conditional Use Permit is required for cellular monopoles in all Commercial zones. The Planning Commission Public Hearing will be scheduled once revised plans are submitted.

**15. Conditional Use Permit for a Church at 5350 Long Beach Blvd. (Case 0601-37) SV (see Attachment 3)**

The approximately 57' x 119' lot is zoned CCA (Commercial Community Automobile-Oriented). The structure was originally constructed as a retail store, and occupied by Jones Department Store. Churches are permitted in the CCA zone with a Conditional Use Permit. The Shield of Faith Church, which currently conducts services at this location, was cited by code enforcement for operating without a CUP. The Church uses a 14-space parking lot located across the alley behind the Church. The Planning Commission will hear the CUP request at a date uncertain. The Church has notified staff that they are looking for new location and have identified a site that is for sale.

**16. Conditional Use Permit for a Day Care Center at 85 W. Del Amo Blvd. (Case 0602-06) SV (see Attachment 7)**

A Child Day Care Center is proposed at an existing 1,704 SF single-family structure at 85 W. Del Amo Boulevard. The 5,150 SF lot is zoned R-1-N. A Conditional Use Permit is required for Day Care Centers with more than 15 persons in the R-1-N zone. The applicant is proposing to care for 31 children. Child Care facilities must also be licensed by the State of California Department of Social Services. A Special Inspection has been completed to identify potential code issues. The Planning Commission will hear the CUP request at a date uncertain.

**17. Standards Variances to legalize horse stalls at 7105 Atlantic Place (Case 0509-29) JU (see Attachment 4)**

The property, zoned R-2-N, is located within a Horse Overlay District. The Horse Overlay District establishes regulations, safeguards, and controls for keeping and maintaining horses. A property within the Horse Overlay District and R-2-N zone may keep one horse for every 2,500 SF of lot area. The applicant requests to legalize 18 horse stalls, where a maximum of



8 horses/horse stalls are allowed by code. The applicant is also seeking standards variances for setbacks from rear and side property lines (0' setback is proposed where 10' is required) and minimum distances between horse stalls and other structures. The property owner has been cited by code enforcement. The applicant has **revised** the application by proposing to demolish 8 older wooden stalls and to legalize the 12 existing concrete block stalls. The revised plan is not accurate. A Zoning Administrator hearing will be scheduled when accurate plans are submitted.

**18. Modification of a Conditional Use Permit for a proposed LNG fueling station and tank at 2531 E. 67th St. (Case 9805-11, 9805-18) DB (see Attachment 13)**

A new 50-foot high (12' diameter) Liquefied Natural Gas (LNG) storage tank and fueling station at the Consolidated Disposal Service yard at 2531 E. 67th Street is proposed. Consolidated states that the use of cleaner burning LNG vehicles, replacing the current diesel-fueled vehicles, will be phased in over time with 57 to be in operation by 2006 and 141 by 2012. The location of the new fueling station would be in close proximity to the existing diesel fueling station at the Western edge of the site near the Union Pacific Railroad tracks. Negative Declaration 07-05 will be prepared to evaluate potential environmental impacts.

The City of Long Beach Planning Commission approved the construction and expansion of an existing recycling center (originally established in the 1970s) and the construction of a new administration building with an appurtenant truck terminal facility in August of 1998. The current request requires a modification of the 1998 approval.

A firm Planning Commission date will be set once off-site improvements are met to the satisfaction of the Public Works Department.

**19. Conditional Use Permit and Standards Variances for a Church at 6160 Atlantic Ave. (Case 0412-27) SV (see Attachment 10)**

The existing structure was originally built in 1955 and used for commercial retail, is located at 6160 Atlantic Avenue. The wedge shaped lot measures 50' wide along Atlantic, 62' wide along the alley and 105' deep. Churches are permitted in the CNA (Commercial Neighborhood Automobile-Oriented) zone with a Conditional Use Permit. The Miracle of Faith Church that currently conducts services at this location was cited by code enforcement for operating without a CUP. The applicant proposes off-site parking at the Sav-On Drug store located at 6000 Atlantic Avenue. This arrangement would require an Administrative Use Permit for shared-use parking, and a Standards Variance because the off-site location is located greater than 600' from the Church entrance. An additional variance would be required if this off-site parking arrangement was not deed restricted.

Based on testimony at the April 20, 2006 Planning Commission Hearing there is a possibility that a Church may have been established at this location prior to City zoning requirements for a Conditional Use Permit. If so, the land use may be legal nonconforming (grandfathered.) The Planning Commission **continued** the hearing to June 1, 2006 to allow the Church time to provide documentation stating when a Church was established at that location. The Church has provided some documentation to staff indicating that a Church was established at the location in 1979. On June 1st the Planning Commission **continued** the hearing to July 6<sup>th</sup> to allow staff time to examine the documentation provided and research applicable zoning codes at the time. **After testimony at the July 6<sup>th</sup> Planning Commission Hearing from a**

gentlemen that stated that he had attended a Church at that location in 1964 or 1965, the Commission voted to continue the item to the August 3rd Planning Commission for staff to prepare Conditions and Findings for **Approval** of the CUP, AUP, and Standards Variance based on the unique length of time that the Church has been present. The item will be on the August 3rd consent calendar with a recommendation of approval based on the Commission's motion.

The continued Planning Commission **Public Hearing** is scheduled for **August 3, 2006**, at 1:30 P.M. in the City Council Chambers of City Hall. Written comments may be addressed to the Commission, in-care-of Carolyn Bihn, Zoning Administrator, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

**20. Mitigated Negative Declaration (Environmental Review) for revision of Solid Waste Facility Permit at Bel-Art Waste Transfer Station, 2501 E. 68th St.**

Bel-Art Waste Transfer Station, located at 2501 E. 68<sup>th</sup> Street, has applied to the County of Los Angeles Department of Health Services for a revision of their Solid Waste Facility Permit to allow an increase in the amount of material delivered to the facility from the current legal maximum of 1,500 tons per day to 4,000 tons per day. Bel-Art receives and temporarily stores non-hazardous municipal solid waste, greenwaste, and recyclable materials, and subsequently consolidates and transfers this material to disposal sites and recycling facilities. Waste is delivered primarily by commercial waste collectors, but Bel-Art also accepts waste from the general public.

As background, the City of Long Beach Planning Commission approved the construction and expansion of an existing recycling center (originally established in the 1970s) and the construction of a new administration building with an appurtenant truck terminal facility in August of 1998. Negative Declaration 26-98 was also certified at this time.

The County of Los Angeles DHS, Solid Waste Management Program, received written comments related to the Mitigated Negative Declaration through October 25, 2004. According to a March 6, 2005 letter from LA County, senior management staff may decide whether to certify the Mitigated Negative Declaration. The City of Long Beach Environmental Officer responded to the Mitigated Negative Declaration with a letter commenting on the Noise, Traffic, and Air Quality sections of the document. At its October 19, 2004 meeting, the Long Beach City Council voted unanimously to adopt a resolution in opposition to the proposed solid waste facility permit revision for the Bel-Art Waste Transfer Station.

The Los Angeles County Department of Health Services, Solid Waste Management Program heard testimony at a Public Hearing on October 29, 2004, at McKinley Elementary School. Approximately 150 residents attended. If the Solid Waste Facility Permit revision were to be approved by the LA County Solid Waste Management Program, there would be a second hearing held by the California Integrated Waste Management Board prior to final consideration of the permit revision.

As of December 14, 2005 both the Solid Waste Facility Permit Revision and the certification of the Mitigated Negative Declaration are still **pending**.

## **ACTIONS ON COMPLETED CASES**

### **21. Condo Conversion of a 55 unit apartment building at 5505 Ackerfield Ave. (Case 0603-86) LF**

The applicant is requesting to convert an existing 5-building, 55-unit complex consisting of one, two, and three bedroom apartments to ownership condominium units. The site currently has 70 parking spaces where 65 are required by code for a condo conversion. **The Planning Commission approved the tentative map with conditions at its July 6, 2006 hearing.**

### **22. Modification to Conditional Use Permit to collocate on an existing Mono-Pine at 5925 Atlantic Ave. (Case 0605-19) CJ**

The applicant has requested to modify a Conditional Use Permit for an existing Mono-Pine in order to add additional antennas to the existing structure to collocate with another wireless provider. Existing antennas are located at 60' and at 50', the proposed antennas would be 42'-5" above grade. Equipment cabinets and a screen wall are proposed on top of the roof. The request was **approved** by through Staff Site Plan Review.

As background, the Planning Commission approved a Conditional Use Permit for a 50' high mono-palm in July 2000. In June 2002 the Site Plan Review Committee approved a request to increase the height to 65' 4" and change the design to a Mono-Pine to collocate an additional carrier.

### **23. Administrative Use Permit to establish a Laboratory at 113 W. Victoria St. (Case 0605-40) JU**

The applicant, RCH Research and Environmental Labs, has requested an Administrative Use Permit to locate within the Victoria Business Park, zoned IM (Medium Industrial) at 113 W. Victoria Street. Professional Office and Institutional Uses, including research laboratories require an AUP in the IM zone. RCH states that they are an independent analytical laboratory registered with the Food and Drug Administration and certified by the State of California to provide scientific testing and analysis. It was determined that an AUP was **not required** based on the uses allowed during the original approval for the business park.

### **24. Standards Variance to Legalize Home Addition and Garage Conversion at 28 W. Del Amo Blvd. (Case 0604-25) CJ**

The existing house, built in 1922, is located on an approximately 33' x 70' lot which is zoned R-3-T (Townhouse Residential). A two-car garage was added in 1926. The applicant has applied to legalize an addition and conversion of half of the two-car garage to a bedroom. According to the applicant a bedroom addition was constructed in 1958 that blocked access to the second half of the garage. To legalize the addition and conversion Standards Variances would be required for setbacks and possibly parking. The Zoning Administrator **approved** the standards variance requests at the June 5, 2006 hearing.



## **ANNOUNCEMENTS**

### **25. 9<sup>th</sup> District Corridor Cleanups**

The next monthly cleanup will be on the Atlantic Corridor from South Street to Artesia Boulevard on July 15 from 9am-Noon. Meet at Houghton Park, NE corner of Harding Street and Atlantic Avenue.

### **26. NLB Parks Construction Update**

Grace Park, located at the intersection of Plymouth Street and Elm Avenue, is completed and open! The Grand Opening for Ed “Pops” Davenport Park, located just East of Paramount Boulevard at the terminus of 55<sup>th</sup> Way, **is scheduled for Saturday August 26th.**

### **27. General Plan Update (GPU) – PHASE II**

The City of Long Beach began a project a year and a half ago to update the General Plan. The General Plan provides the roadmap for the City’s growth and development over the next 20 to 25 years. A General Plan reflects the community’s vision through goals and policies that are implemented through strategic plans, land use plans, design guidelines, and zoning regulations. The General Plan helps shape how the City will change over time. How will neighborhoods change, will there be new shopping areas, should there be mixed use development along major streets, what type of jobs and businesses will exist, what will future buildings look like, how will people move around throughout the City, what kind of streets, sidewalks and landscaping will there be, and most important, how will Long Beach continue to be a great place to live, work and play.

The first phase of the General Plan update is complete. Community Cluster Advisory Teams, made up of individuals from five Community Planning Areas came together to provide input and identify issues. Not surprisingly, these geographic groups identified many of the same issues and concerns.

During Phase II of this process it will be important for the community to develop a shared vision for the future in Long Beach. There will be a creative and comprehensive public outreach program to shape the vision. If you have ideas about the various ways we can reach the widest possible audience, please tell us. We are interested in reaching out to faith-based groups, neighborhood watch, community organizations and other public gatherings that would be good opportunities for public participation on the General Plan.

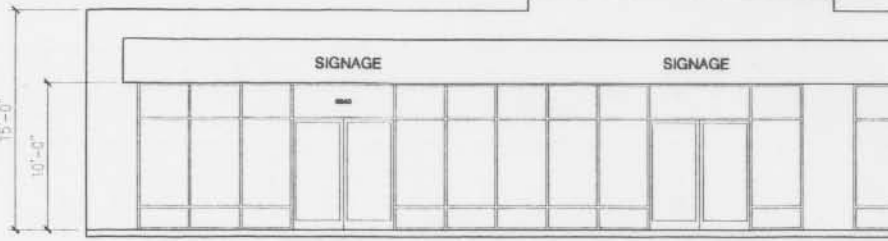
With your participation, we can shape a General Plan to reflect our shared values and vision, and provide a roadmap that takes Long Beach into the future. Maps, demographic information, reports, documents, and community cluster input, is available online at: [http://www.longbeach.gov/apps/advance\\_plan/index.html](http://www.longbeach.gov/apps/advance_plan/index.html)

## **IMPORTANT PHONE NUMBERS**

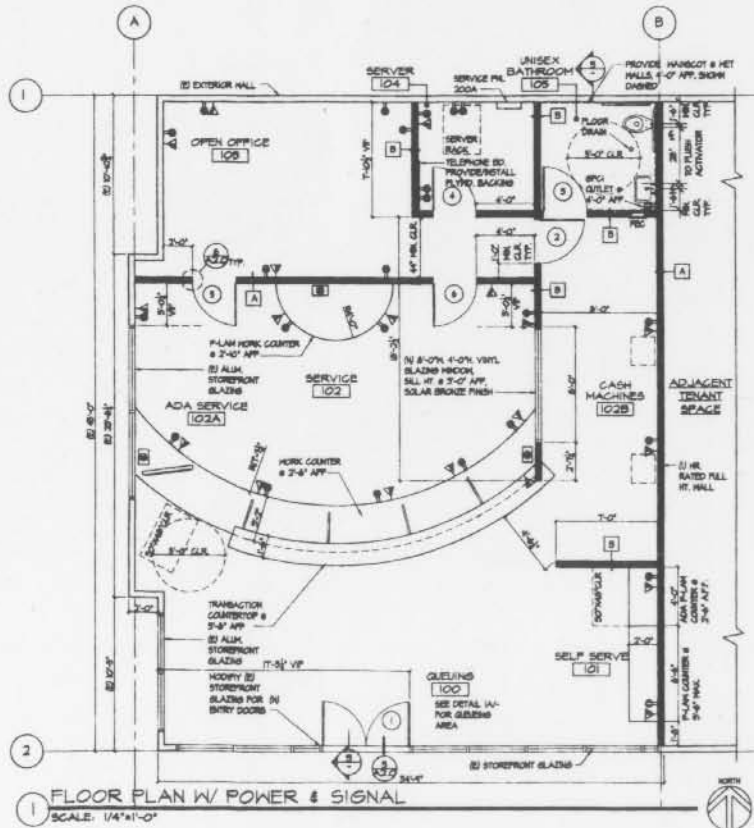
Council Member (8 <sup>th</sup> District), Rae Gabelich	(562) 570-6685
Council Member (8 <sup>th</sup> District), Field Office	(562) 570-1326
Council Member (9 <sup>th</sup> District), Val Lerch	(562) 570-6137
Council Member (9 <sup>th</sup> District), Field Office	(562) 570-3319
Police, toll free, anonymous, Gang Tip	1- (866) 426-4847
Police non-emergency calls	(562) 435-6711
Police narcotics tip	(562) 570-7125
Community Policing, Marlene cyarron@longbeach.gov	(562) 570-9825
Animal Control Center	(562) 570-7387
Rats, Roaches, Vermin & Other – Environmental Health	(562) 570-4132
Pot Hole Patrol, reporting street pot holes	(562) 570-3259
Maintenance for City Traffic Signs	(562) 570-5264
Abandoned shopping carts removal	1-(800) 252-4613
Things on power lines, SCE Hazardous Conditions	1-(800) 611-1911 press 2, then 4
Property Maintenance, Building, Zoning Code Enforcement	(562) 570-CODE
Zoning Information	(562) 570-6194
Building Permit information	(562) 570-6651
Historic Preservation	(562) 570-6864
Call Before you Dig (Underground Service Alert)	(800) 227-2600
Noise Complaint, Environmental Health	(562) 570-5650
Unlicensed food vendors Business License	(562) 570-6211 ext. 7
Unlicensed food vendors Health & Human Services	(562) 570-4219
Damaged Sewer lines from street trees	(562) 570-3259
Graffiti hotline, on private property	(562) 570-2773
Graffiti in City Parks, Park Maintenance, Emy Arteaga	(562) 570-4895
Graffiti in City Beaches	(562) 570-1582
Graffiti on County flood control channel	(562) 256-1920
Graffiti on Union Pacific Railroad property	(714) 379-3376
Graffiti on Caltrans property, Christine Anderson	(310) 342-6161
Special Refuse Pick-ups (Free twice a year for large items)	(562) 570-2876
Public Service	(562) 570-2700 listen to menu
Neighborhood Resource Center, Margaret Madden	(562) 570-1010
Storm Drain Hotline, report items dumped in storm drain	(562) 570-3867
City Park Issues, Tom Shippey	(562) 570-4899
Street Median Issues, Tom Shippey	(562) 570-4899

# ATTACHMENT 1

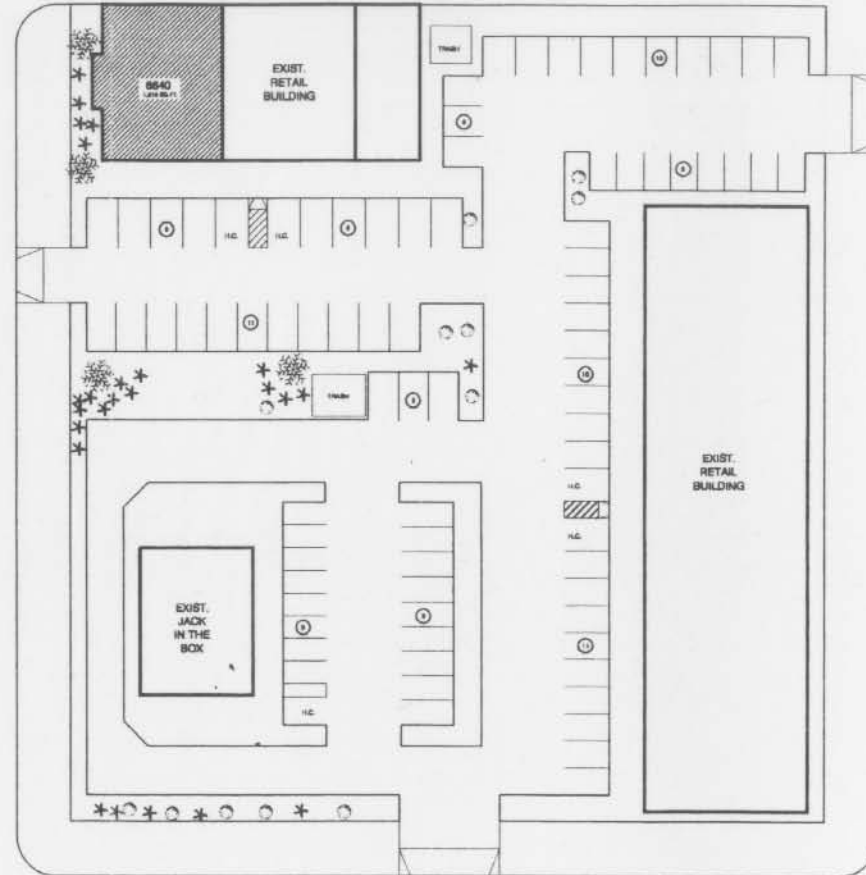
ARTESIA FREEWAY (91)



2 FRONT ELEVATION  
1/4" = 1'-0"



CHERRY AVENUE



ARTESIA BOULEVARD

1 SITE PLAN  
1/4" = 1'-0"

TOTAL PARKING STALLS = 85

SCHILLING AVENUE

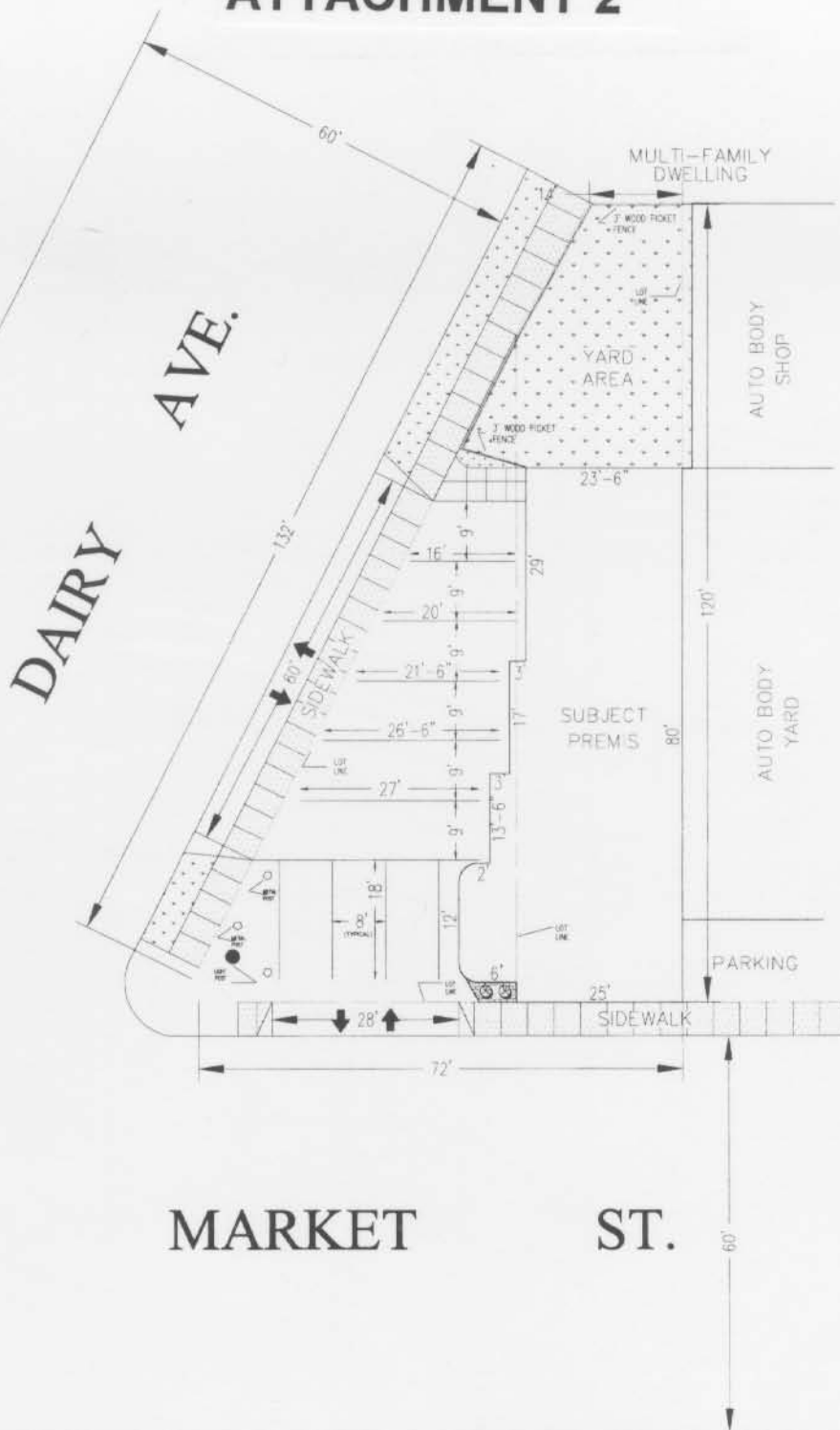
6640 CHERRY AVE.  
LONG BEACH, CA 90805

SITE PLAN, FLOOR PLAN  
ELEVATION

DATE 5/18/06  
BY EET

A-1

DAIRY  
AVE.



NORTH

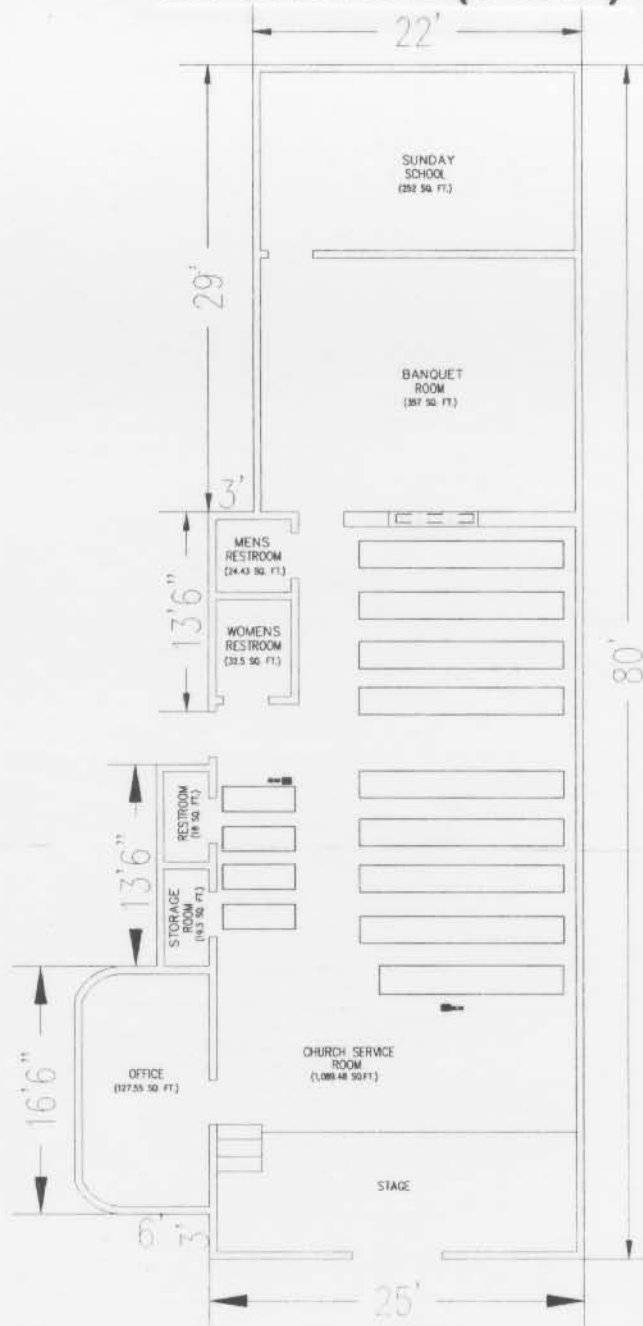
**PROJECT ADDRESS**  
IGLESIA LIRIO DEL LOS VALLES  
77 E. MARKET ST.  
LONG BEACH, CA 90805

CASE NO.:  
DATE: MARCH 24, 2006  
SCALE: 1/8" = 1'  
USES: FIELD  
DRAWING BY: ERICKA R. ODOM

ZONING & LAND USE SOLUTIONS  
1425 FREEMAN AVE. #2  
LONG BEACH, CA 90804  
(562) 841-2188

LOT NET ACRES: 0.12 A.C.  
TOTAL LOT: 5,365.72 sq. ft.  
SUB. BUILDING: 2,097.05 sq. ft.  
EXISTING PARKING: 9 STALLS  
ZONE: CNR

# ATTACH. 2 (Cont.)



LEGAL: TRACT NO. 5134, LOTS 1183 & 1184, M.B. 59-63-64

SUBJECT BUILDING: 2,097.05 sq.ft.

PROJECT ADDRESS  
IGLESIA LIRIO DEL LOS VALLES  
77 E. MARKET ST.  
LONG BEACH, CA 90805

EXISTING  
FLOOR PLAN

ZONING & LAND USE SOLUTIONS  
1425 FREEMAN AVE. #2  
LONG BEACH, CA 90804  
(562) 841-2188

CASE NO.:  
DATE: MARCH 24, 2006  
SCALE: 1/4" = 1'  
USES: FIELD  
DRAWING BY: ERICKA R. ODOM



# ATTACHMENT 3

CONDITIONAL USE PERMIT APPLICATION FOR:  
 SHIELD OF FAITH CHRISTIAN CENTER  
 5550 Long Beach Blvd., Long Beach, CA. 90805  
 Pastor: Dr. Arlin M. Alexander  
 (562) 422-7886

APPLICATION PREPARED BY:  
 REX STARR / CHARLES A. HUNTER, JR.  
 1052 BINGHAM AVENUE  
 SUITE 200, S  
 BEVERLY HILLS, CA. 90210  
 Phone Number: (310) 275-6185

SUBJECT PROPERTY:  
 5350 LG. BEACH BLVD.  
 LONG BEACH, CA 90805

PLOT PLAN  
 1/8" = 1'-0"



SHIELD OF FAITH CHRISTIAN CENTER  
 5550 LONG BEACH BLVD., LONG BEACH, CA. 90805

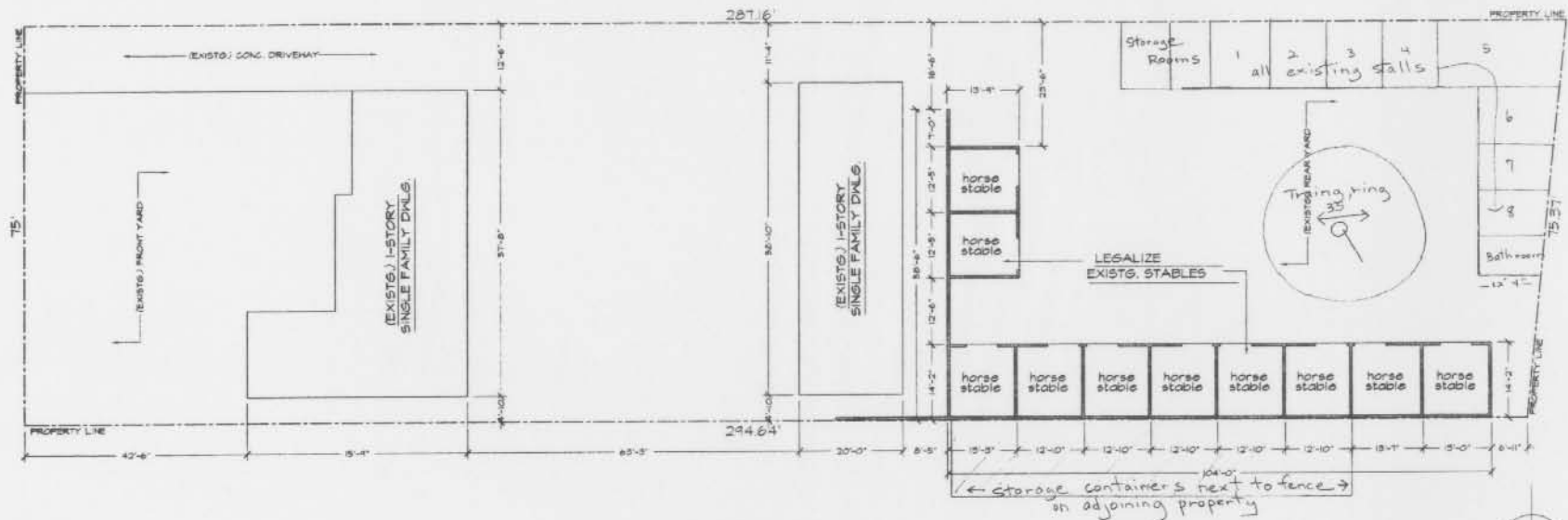
REVISIONS	BY

Date	
Scale	
Drawn	
Job	
Sheet	1
Of	Draws

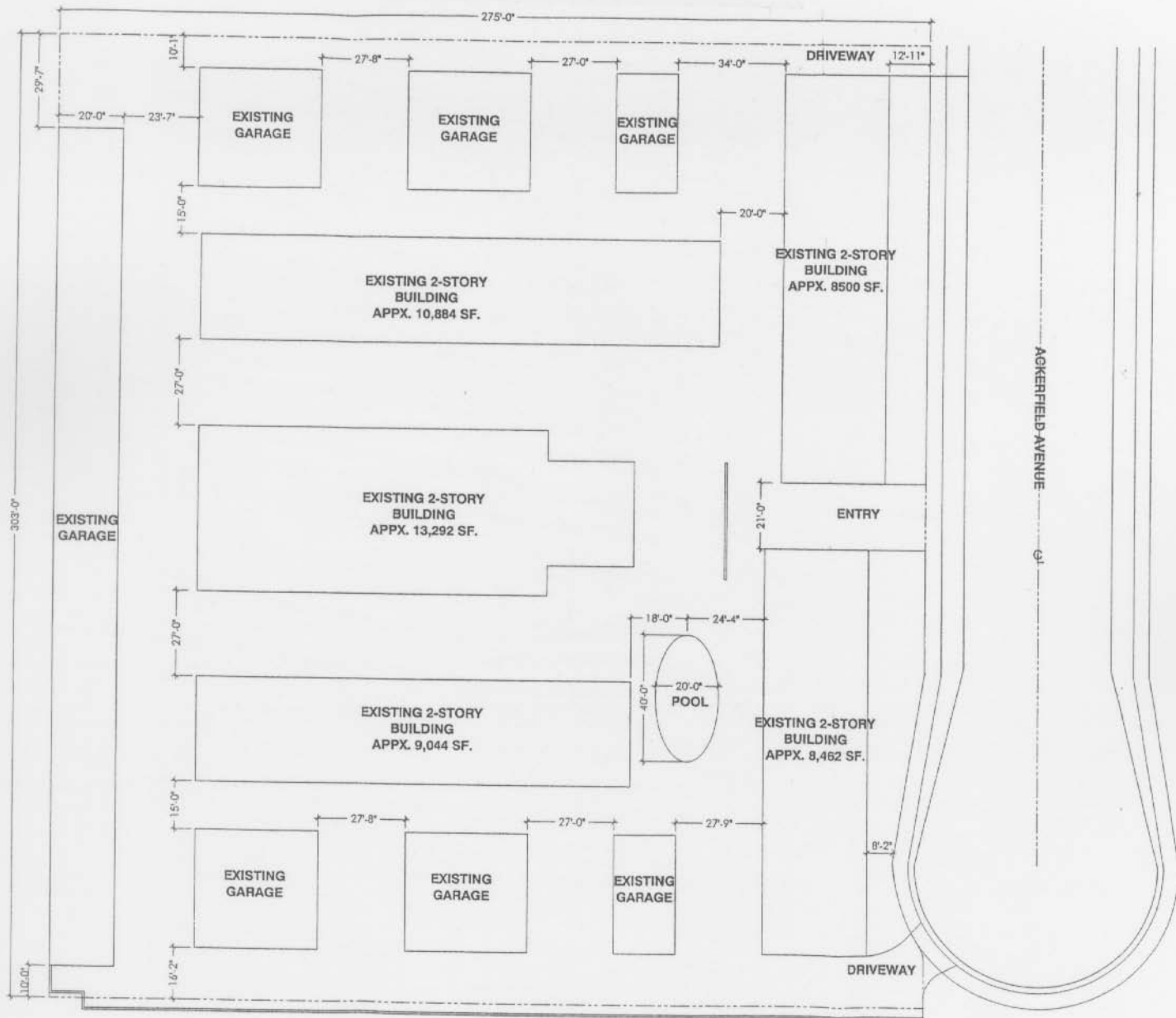
SHIELD OF FAITH CHRISTIAN CENTER  
5350 LONG BEACH BLVD., LONG BEACH, CA. 90805



## ATTACHMENT 4



# ATTACHMENT 5



Legal Description:  
Lot: 4 Tract: 29389  
M.B.: 723-73-74

SITE PLAN  
SCALE: 1/16" = 1'-0"

Project Address:  
5505 Ackerfield Avenue  
Long Beach, CA. 90805

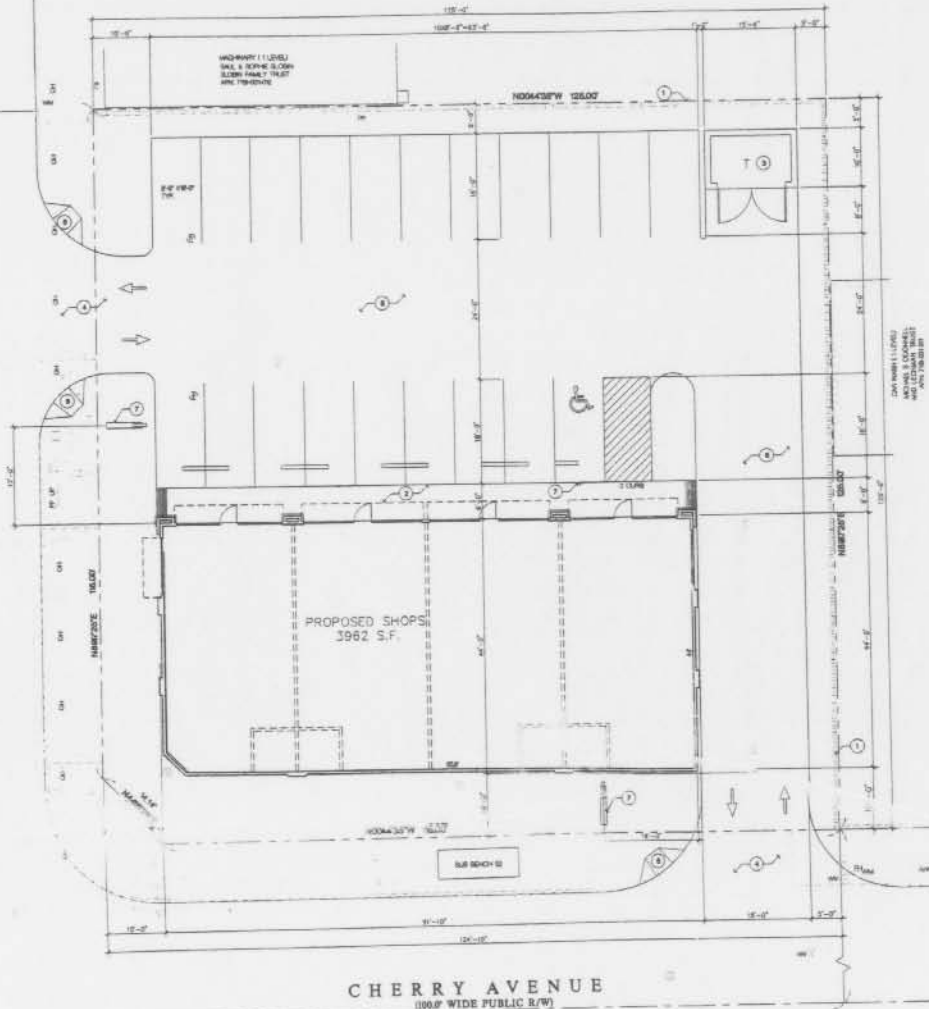
A.01



# ATTACHMENT 6

MINNESOTA  
SHILLING  
AVE

EAST ARTESIA BOULEVARD  
(100.0' WIDE PUBLIC R/W)



CHERRY AVENUE  
(100.0' WIDE PUBLIC R/W)

**Artesia & Cherry Retail Center**  
6598 Cherry Ave., Long Beach, CA

SITE PLAN

SCALE: 1"=10'-0"



Festival Development Partners LLC

9841 Airport Blvd., Suite 700  
Los Angeles, CA 90045  
Tel: 310.665.9657  
Fax: 310.568.0080

## PROJECT SUMMARY

- PROPERTY OWNER:** FESTIVAL DEVELOPMENT PARTNERS LLC  
9841 AIRPORT BLVD., SUITE 700  
LOS ANGELES, CA 90045  
TEL: 310.665.9657  
FAX: 310.568.0080
- PROJECT ADDRESS:** ARTESIA & CHERRY RETAIL CENTER  
6598 CHERRY AVE.  
LONG BEACH, CA
- LEGAL DESCRIPTION:** LOT 1 OF TRACT NO. 3865, IN THE CITY OF LONG BEACH, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 787, PAGES 3 AND 4 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
- ZONE:** OCA ZONE
- LOT SIZE:** 32938+1625 SF OR 0.26 AC
- PROPOSED USE:** NEW ONE STORY RETAIL SHOP BUILDING
- ALLOWABLE BUILDING AREA:**  
BASIC ALLOWABLE AREA: 10000 SF  
200% INCREASE FOR SPRINKLER: 20000 SF  
SEPARATION ON 3 SIDES: 144  
ACTUAL BUILDING AREA: 3962 SF (3962 SF / 24000 SF = 16.5%)
- LOT COVERAGE:** 12.0% (3962 SF / 32938 SF)
- PARKING SPACES REQUIRED:**  
4 SPACES / 1000 SF RETAIL  
10 SPACES / 1000 SF RESTAURANT  
4 SPACES / 1000 SF RETAIL
- PARKING SPACES PROVIDED:** 20 STANDARD SPACES (INCLUDING 1 HANDICAP SPACE)
- PARKING RATIO:** 5:1
- SETBACKS:** STREET SIDE 10'-0"  
SIDE AND REAR 5'-0"
- NUMBER OF STORY:** ONE
- MAX. OF BUILDING HEIGHT:** 25'-0" (128'-0" MAX)
- OCCUPANCY GROUP:** M & S RESTAURANT AND RETAIL USE
- TYPE OF CONSTRUCTION:** TYPE V-A, W SPRINKLER PROVIDED

## DIRECTORY

<b>ARCHITECT:</b>	KTGY GROUP 141 5TH STREET STE. 300 SANTA MONICA, CA 90401 TEL: 310.334-3823 FAX: 310.334-3825 CONTACT: STEVE STODOLAR E-MAIL: sstodola@ktgy.com	<b>CIVIL / MECHANICAL:</b> MURPHY & ASSOCIATES 2225 MAIN LANE, SUITE 210 ALHAMBRA, CA 91801
<b>LANDSCAPE:</b>	HERSH AND ASSOCIATES 2221 EAST WINSTON ROAD, SUITE A ANAHEIM, CA 92805 CONTACT: CHUCK ROLEY TEL: 714.778-0040 E-MAIL: CHUCK@HALLANDROCK.COM	

## KEY NOTES

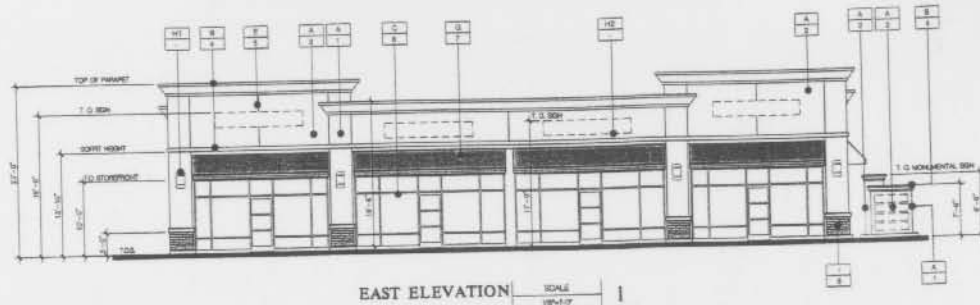
- EXISTING CONC. BLOCK WALL ALONG PROPERTY LINE TO REMAIN
- NEW CONC. WALKWAY
- NEW TRASH ENCLOSURE 8'-0" X 10'-0" CL
- NEW DRIVEWAY APPROACH
- NEW CONC. DRIVEWAY
- DISABLED ACCESS RAMP
- NEW HANDICAP PARKING SIGN
- LINE OF AWNING ABOVE SEE STRUCTURAL DRAWINGS FOR BLOCKING REQUIREMENTS
- MONUMENTAL SIGNAGE

## VICINITY MAP

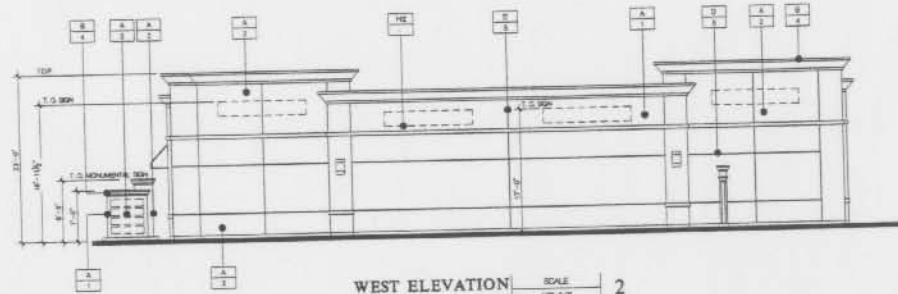




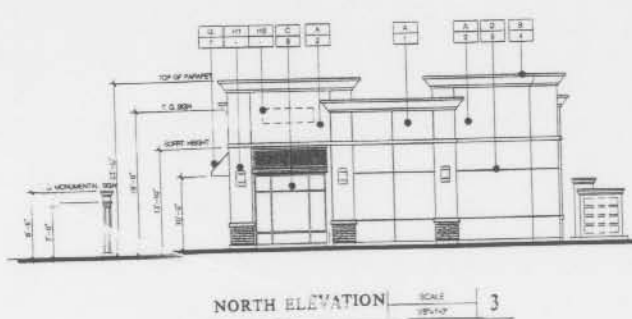
# ATTACH. 6 (Cont.)



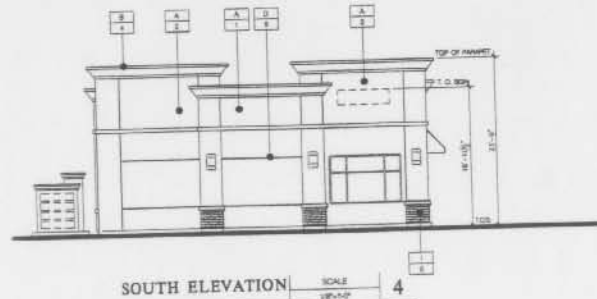
EAST ELEVATION SCALE 1/8" = 1'-0"



WEST ELEVATION SCALE 1/8" = 1'-0"



NORTH ELEVATION SCALE 1/8" = 1'-0"



SOUTH ELEVATION SCALE 1/8" = 1'-0"

## ELEVATIONS

SCALE: 1/8" = 1'-0"



**Artesia & Cherry Retail Center**  
6598 Cherry Ave., Long Beach, CA

Festival Development Partners LLC

9841 Airport Blvd, Suite 700  
Los Angeles, CA 90045  
Tel: 310.665.9657  
Fax: 310.568.0080

## EXTERIOR MATERIAL

1	1/2" COARSE PLASTER WITH FINE SAND FLAT FINISH PAINT WITH TRIM PROFILE SUBTLE COORDINATE COLOR AS INDICATED
2	CONCRETE CORNER
3	ALUMINUM STANDING SEAM WITH V-F GUTTER GLASS HEIGHT 48" / CLEAR GLASS BY MASON PARTITION
4	7" METAL REVEAL
5	1" 1/2" METAL REVEAL
6	8" HIGH CONCRETE CURB
7	PRE-CASTERED FIBER CEMENT
8	EXTERIOR WALL COORDINATE MASONRY WITH THE CURB COORDINATE WITH DOWNSIDE 8000 TON
9	SEEN BY TENANT UNDER SEPARATE HEIGHT SEE GEM AVAILABLE FOR DIRECTIONS
10	STONE VENEER
11	HORIZONTAL SERVICE TYPICAL SERVICE SPACE PER CODE

## EXT. COLORS AND FINISHES

1	1/2" RED MASONRY
2	1/2" RED MASONRY
3	1/2" RED MASONRY
4	1/2" RED MASONRY
5	UNPAINTED
6	CASCADE PLASTIC / LOST BY SLOPED STONE
7	RED CRIMSON RED BY DANIELA PIRELLI
8	ACCENT COLOR

## SIGN GUIDELINES

1. TENANTS WILL BE RESPONSIBLE FOR DESIGN, FABRICATION, INSTALLATION AND MAINTENANCE OF ALL SIGNAGE INCLUDING ANY STRUCTURAL, SUPPORT AND ELECTRICAL SPACE AND ANY SPECIAL INSTALLATION REQUIREMENTS OF HOISTING TO THE BUILDING APPROVED BY THE CHAIRMAN.
2. ALL TENANTS ARE ALLOWED PRIMARY IDENTIFICATION SIGNAGE, TYPICALLY LOCATED NEARBY THE STORE ENTRANCE AND ON THE WALL FACES TO CHERRY AND LOCATE THE SIGNAGE APPROPRIATELY TO BE SHOWN ON THE ELEVATIONS.
3. SIGNAGE IN A 10' HIGH BUILDING ELEVATIONS MAY INCORPORATE ADDITIONAL IDENTIFICATION SIGNAGE THE SIGNAGE.
4. SIGNAGE MAY COVER THE BUSINESS NAME AND A MASONRY SIGNAGE HOLDING IDENTIFICATION OF THE SIGNAGE.
5. THE SIGNAGE WITHIN OF ANY SIGN SHALL NOT EXCEED 75% OF LEASED FRONTAGE THE SIGN SHALL ALLOWED IS MASONRY CHIMNEY LETTER WITH SUBSEQUENT CHIMNEY PRIMARY SIGN LETTER SHOULD NOT EXCEED 24" IN HEIGHT. TENANT LOGOS ARE ALLOWED WITH CHIMNEY APPROVAL. NO RECTANGULAR CHIMNEY SIGN ARE ALLOWED.
6. COLOR
7. A SIGN COLOR SHOULD BE SELECTED TO PROVIDE SUFFICIENT CONTRAST AGAINST BUILDING BACKGROUND COLOR.
8. SIGN COLOR SHOULD BE COMPATIBLE WITH AND COMPLEMENT BUILDING BACKGROUND COLOR.



KTGY GROUP, INC.

Architecture Planning

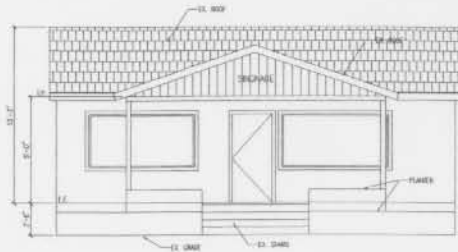
1401 PETER STREET, STE. 200  
SANTA MONICA, CA 90401  
(310) 394-3653  
(310) 394-3652 FAX

90199

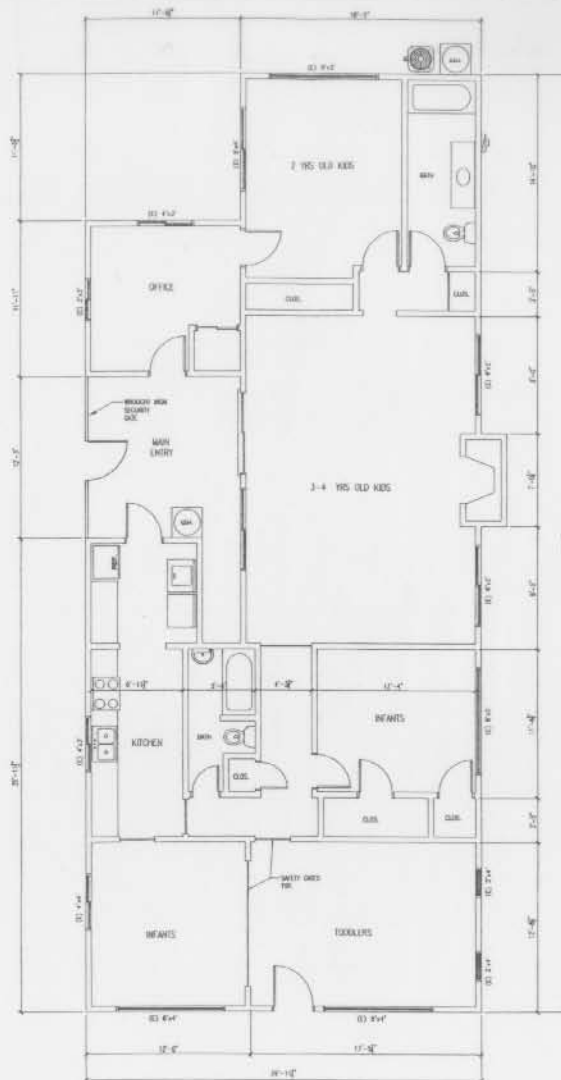
REVISIONS

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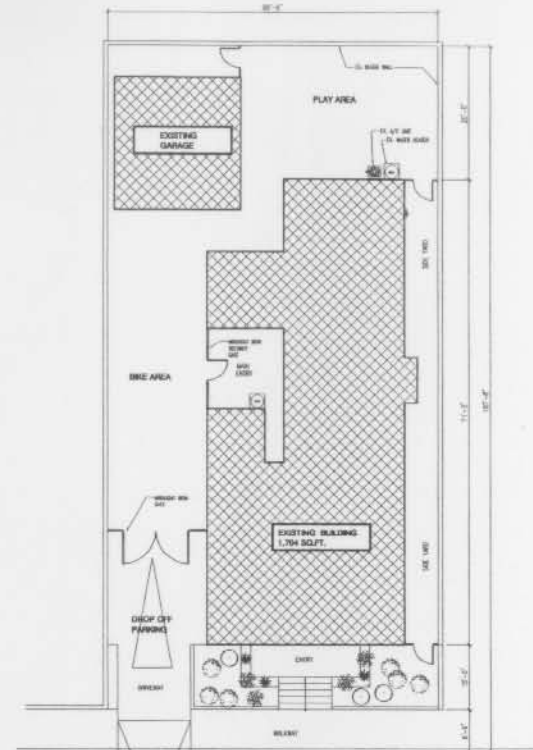
# ATTACHMENT 7



**FRONT ELEVATION**  
1/4" = 1'-0"



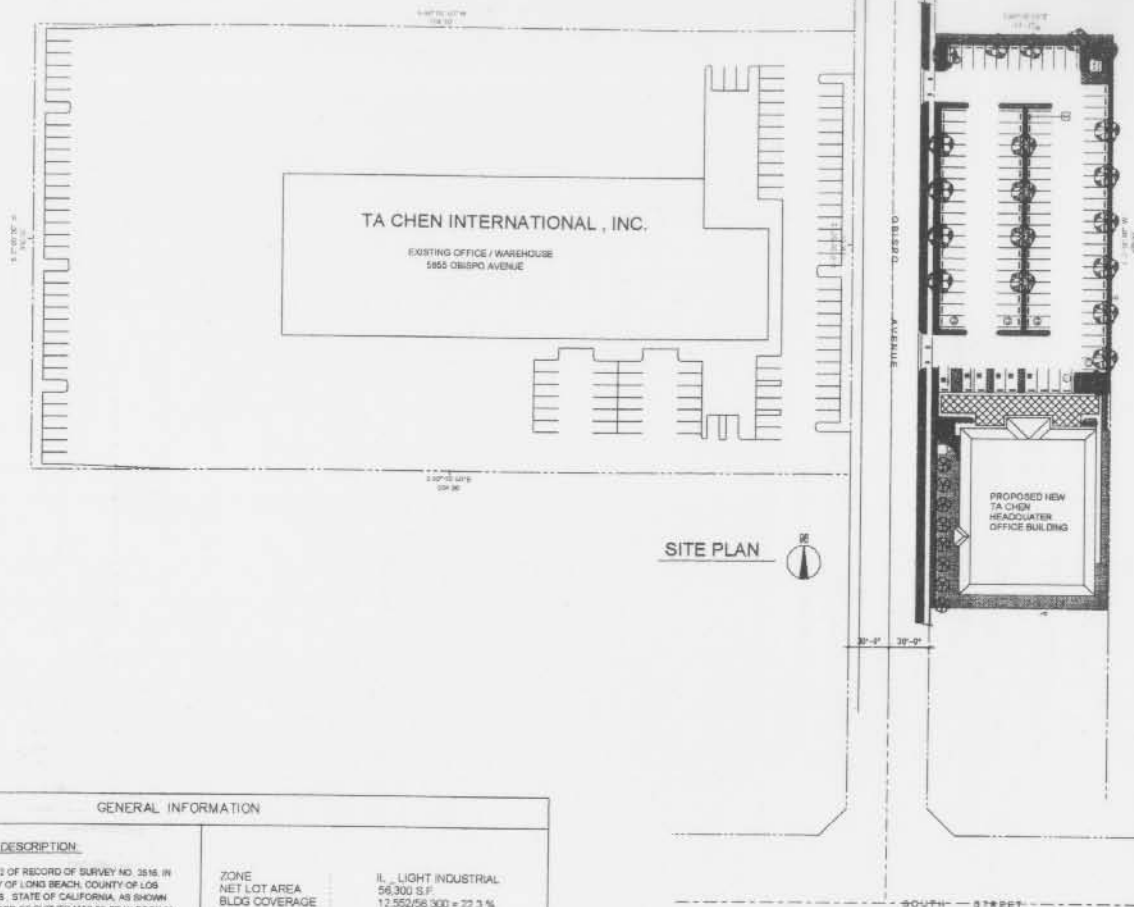
**FLOOR PLAN**  
1/8" = 1'-0"



**SITE PLAN**  
1/8" = 1'-0"



# ATTACHMENT 8



SITE PLAN

## GENERAL INFORMATION

### LEGAL DESCRIPTION

PARCEL 2 OF RECORD OF SURVEY NO. 3816, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 88, PAGE 57 OF RECORD OF SURVEY, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

### ZONE

NET LOT AREA

IL - LIGHT INDUSTRIAL

56,300 S.F.

BLDG COVERAGE

12,552/56,300 = 22.3 %

### PROJECT OWNER

TA CHEN INTERNATIONAL, INC.  
5855 OMBRO AVE  
LONG BEACH, CA 90805  
CONTACT

### PARKING ANALYSIS

BLDG GROSS FLOOR AREA : 24,284 SF  
PARKING REQUIRED : 20,000/250 = (2,428-20,000)/500  
= 80.85 = 80.5

PARKING PROVIDED : 102

HUEY INDUSTRIAL INC.  
11921 GOLDING RD  
ARCADIA, CA  
TEL: 626-256-1911  
FAX: 626-357-3121

## GENERAL INFORMATION

CODES: 2001 CALIFORNIA BUILDING CODES  
TITLE 24, PART 2 OF CALIFORNIA ADMINISTRATION CODE

### GROSS BUILDING AREA

1ST FLOOR: 12,552 SF  
2ND FLOOR: 11,732 SF  
TOTAL: 24,284 SF

### BUILDING HEIGHT

2 STORY (30'-0")

### OCCUPANCY TYPE

8 (OFFICE)

### FIRE OF CONSTRUCTION

V-N

### FIRE SPRINKLER

YES

### FIRE RESISTANCE RATING

STRUCTURE FRAME

N

### SCAFFOLD WALLS

EXTERIOR

1HR (804.3.1)

### NON BEARING WALLS

EXTERIOR

N

### ROOF CONSTRUCTION

EXTERIOR WALLS

N

### BUILDING SIDE

FINISH SEPARATION

### EAST

10' TO PROPERTY LINE

### SOUTH

12' TO PROPERTY LINE

### WEST

80'

### ALLOWABLE AREA CALCULATION

BASIC ALLOWABLE AREA: 8,000 SF (V-N)  
100% INCREASE FOR SEPARATION ON TWO SIDES X2 = 16,000 SF  
TOTAL COMBINED FLOOR AREA FOR MULTISTORY BUILDING MAY BE TWICE THAT PERMITTED

ALLOWABLE AREA: 16,000 X2 (2 STORY) = 32,000 SF > 24,284 SF

### DET ANALYSIS

OCCUPANCY = 100 SF/OCC.

OCCUPANT LOAD: 24,284 SF/100 = 242 OCCUPANTS

### EXITS REQUIRED

EXITS PROVIDED: 3

EXIT WIDTH REQUIRED: 3" / OCCUPANT (242)

OCCUPANT / EXITS = 48.6" REQUIRED

EXIT DOOR WIDTH PROVIDED = 35" X1 = 144" > 48.6"

### BUILDING FEATURE CALCULATION

OCCUPANT GROUP: 8

FLOOR AREA: 24,284 SF

OCCUPANT LOAD FACTOR: 24,284/200 SF/PERSON = 121

### FAUCETS

MALE WATER CLOSET

2 REQUIRED 4 PROVIDED

LAVATORIES

1 REQUIRED 6 PROVIDED

FEMALE WATER CLOSET

8 REQUIRED 8 PROVIDED

LAVATORIES

1 REQUIRED 8 PROVIDED

OCCUPANT LOAD OVER 30 REQUIRE 1 DRINKING

FOUNTAIN 1 PROVIDED

HUEY INDUSTRIAL, INC.

11921 GOLDING ROAD

ARCADIA, CALIFORNIA

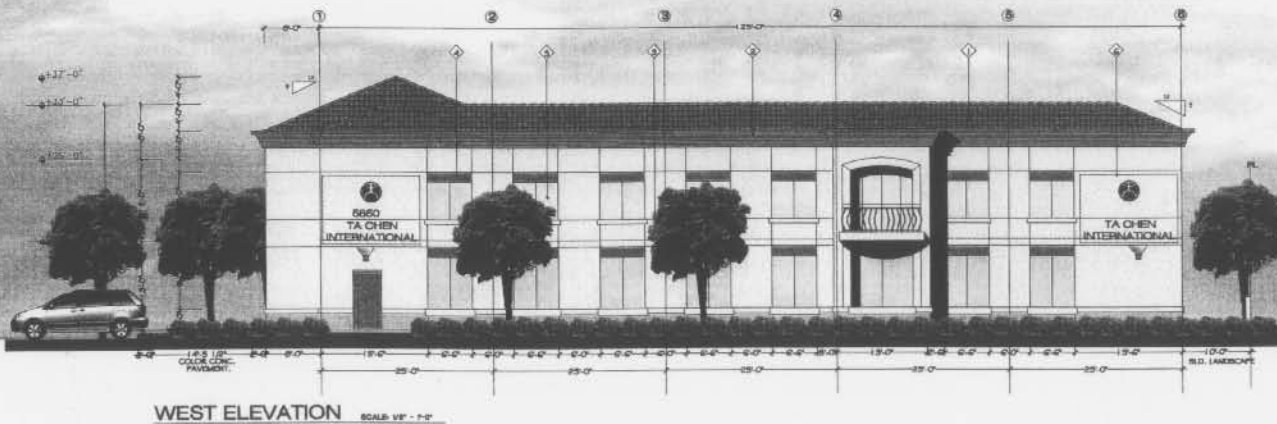
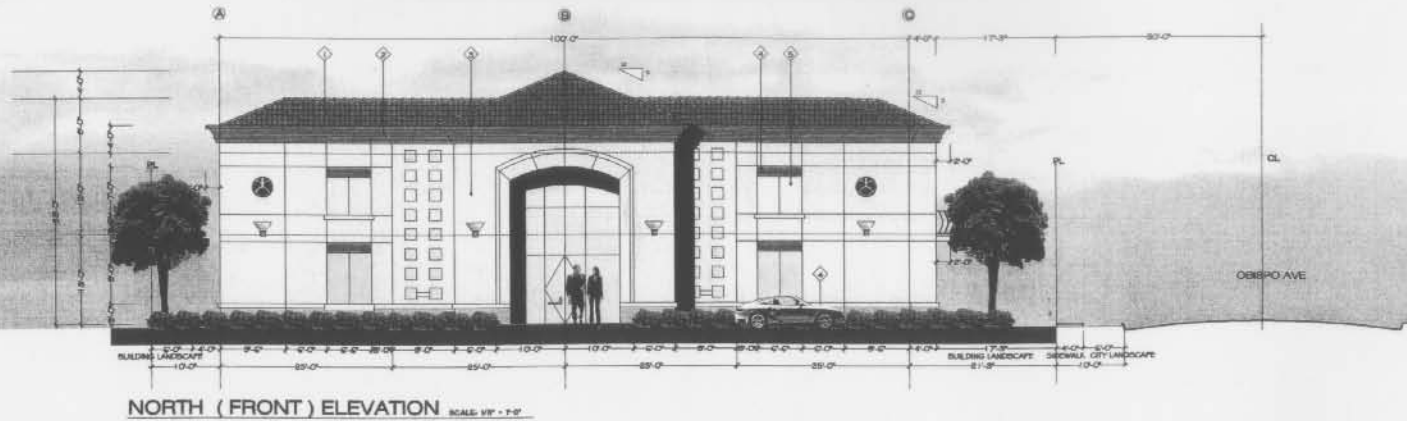
TEL: 626-256-1911

FAX: 626-357-3121

E-mail: hueyusa@gmail.com

A-1

# ATTACH. 8 (Cont.)



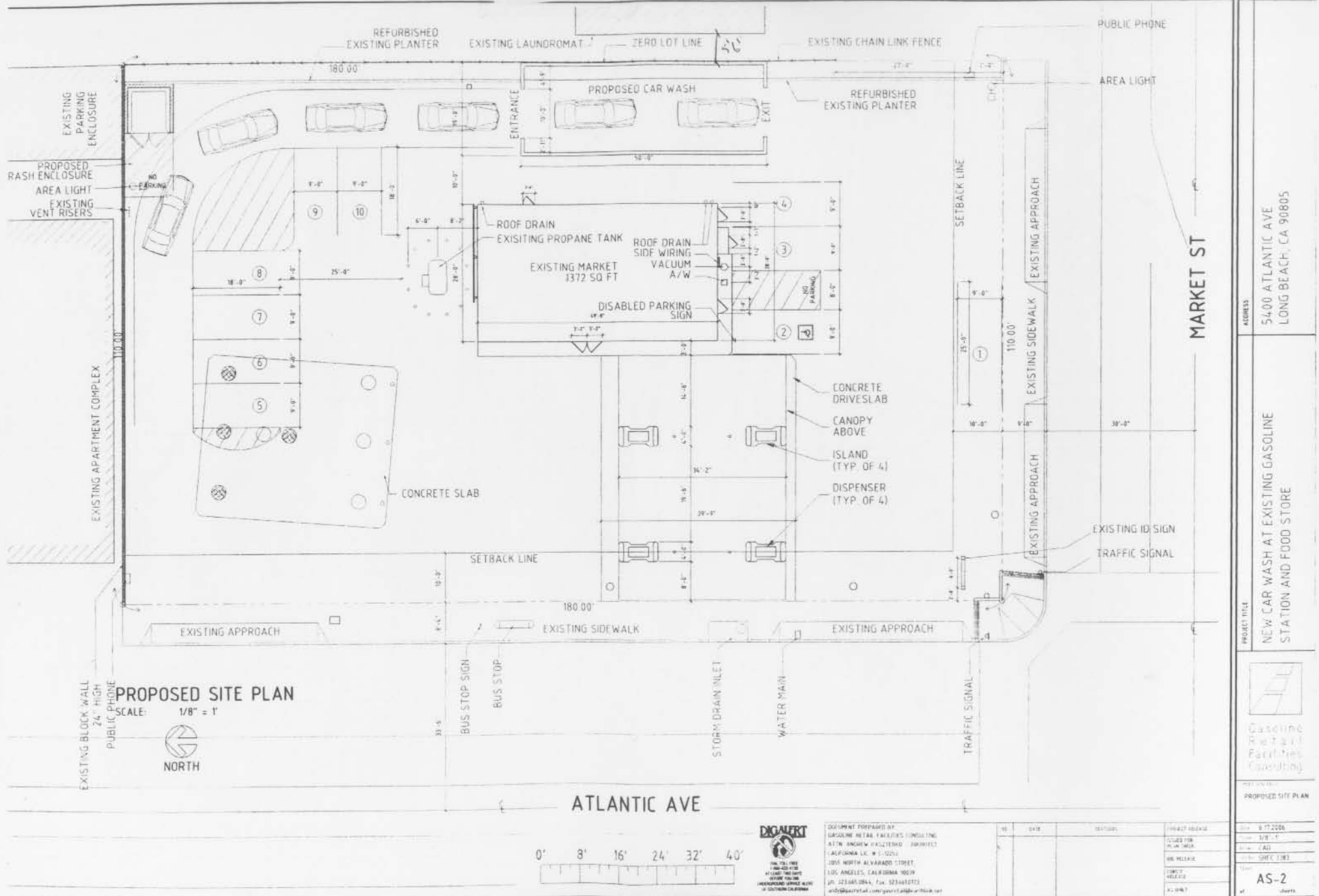
## EXTERIOR FINISH MATERIALS:

- ① ROOFING: MONTE LUPTLE SHIPWAY - W/5:12 PITCH S TUF
- ② TRIM: COLOR DETER. "DORIC" PATTY RCC-14-1
- ③ CONC. PANEL: PAINTED, BROWN GOLDEN HEMPSTEAD ECC-25-1
- ④ WALL: BROWN TAUPE KIDNEY ECC-10-1
- ⑤ WINDOW: ALL GLASS 1/4" TINTED GLASS
- ⑥ BUILDING SIGNAGE:



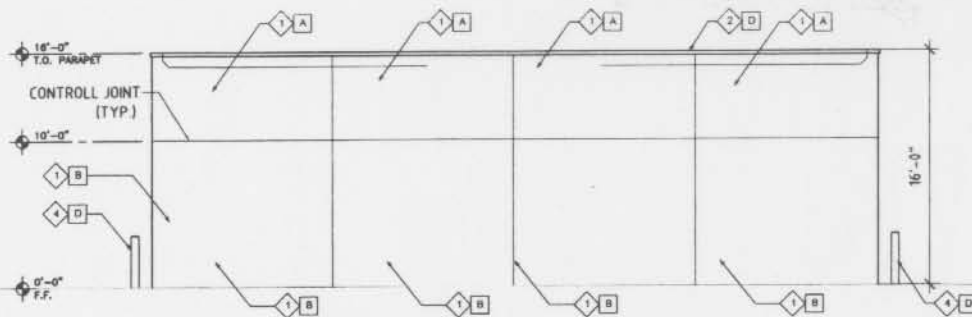
TA CHEN INTERNATIONAL, USA  
5850 OBISPO AVE., LONG BEACH, CA 90805

# ATTACHMENT 9



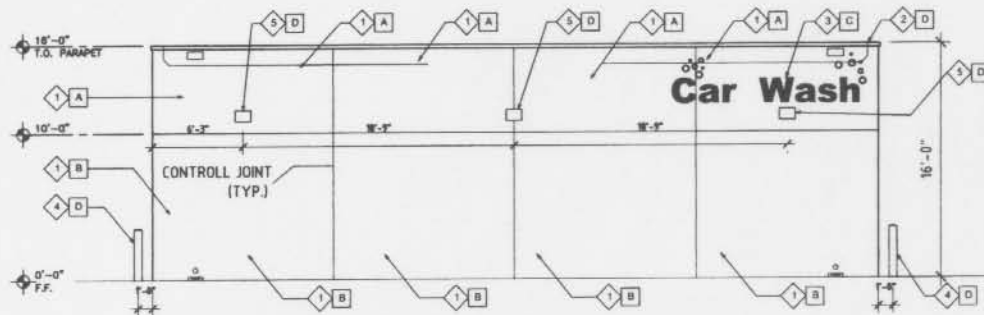


# ATTACH. 9 (Cont.)



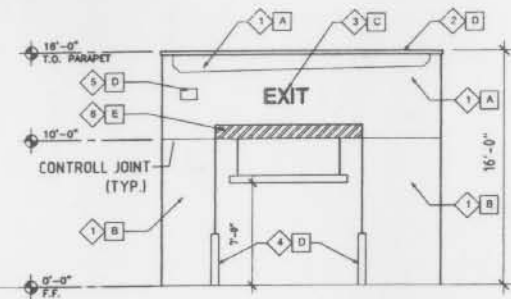
PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'



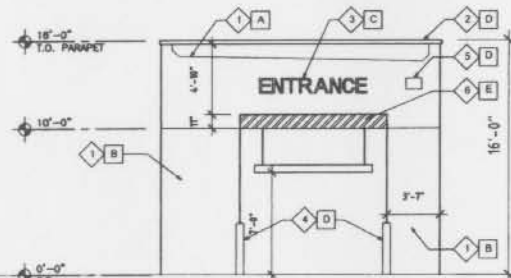
PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'



PROPOSED SOUTH ELEVATION

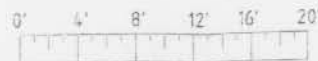
SCALE: 1/4" = 1'



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'

LIST OF MATERIALS		COLOR LIST	
1	PAINTED EXTERIOR CEMENT PLASTER	A	"LA HABRA" X-55 FRENCH VANILLA
2	METAL FLASHING PAINTED WHITE	B	"LA HABRA" X-73 EGGHELL
3	INTERIALLY ILLUMINATED CHANNEL LETTERS-SUBJECT TO SIGN PROGRAM	C	BLUE
4	#6" OD BOLLARDS PAINTED WHITE	D	WHITE
5	WALL PACK EXTERIOR LIGHT LSI MODEL # EDWB1755M8P6M1W1H10	E	RED
6	ACM METAL PANEL PREFINISHED		



DOCUMENT PREPARED BY:  
GASOLINE RETAIL FACILITIES CONSULTING  
ATTN: ANDREW PAULTERING - ARCHITECT  
CALIFORNIA L.C. # C 12253  
2255 NORTH ALVARADO STREET  
LOS ANGELES, CALIFORNIA 90064  
PH: 323.645.0964 FAX: 323.645.0973  
andypa@gasolinefacilitiesconsulting.com

NO.	DATE	REVISIONS	PROJECT RELEASE
			DESIGN FOR PERMITS
			FOR RELEASE
			FINAL RELEASE
			BY: 6/17/2006
			SCALE: 1/4" = 1'
			DRAWN: CAD
			NO. 00: GRPC 3383
			SHEET: A-2.1

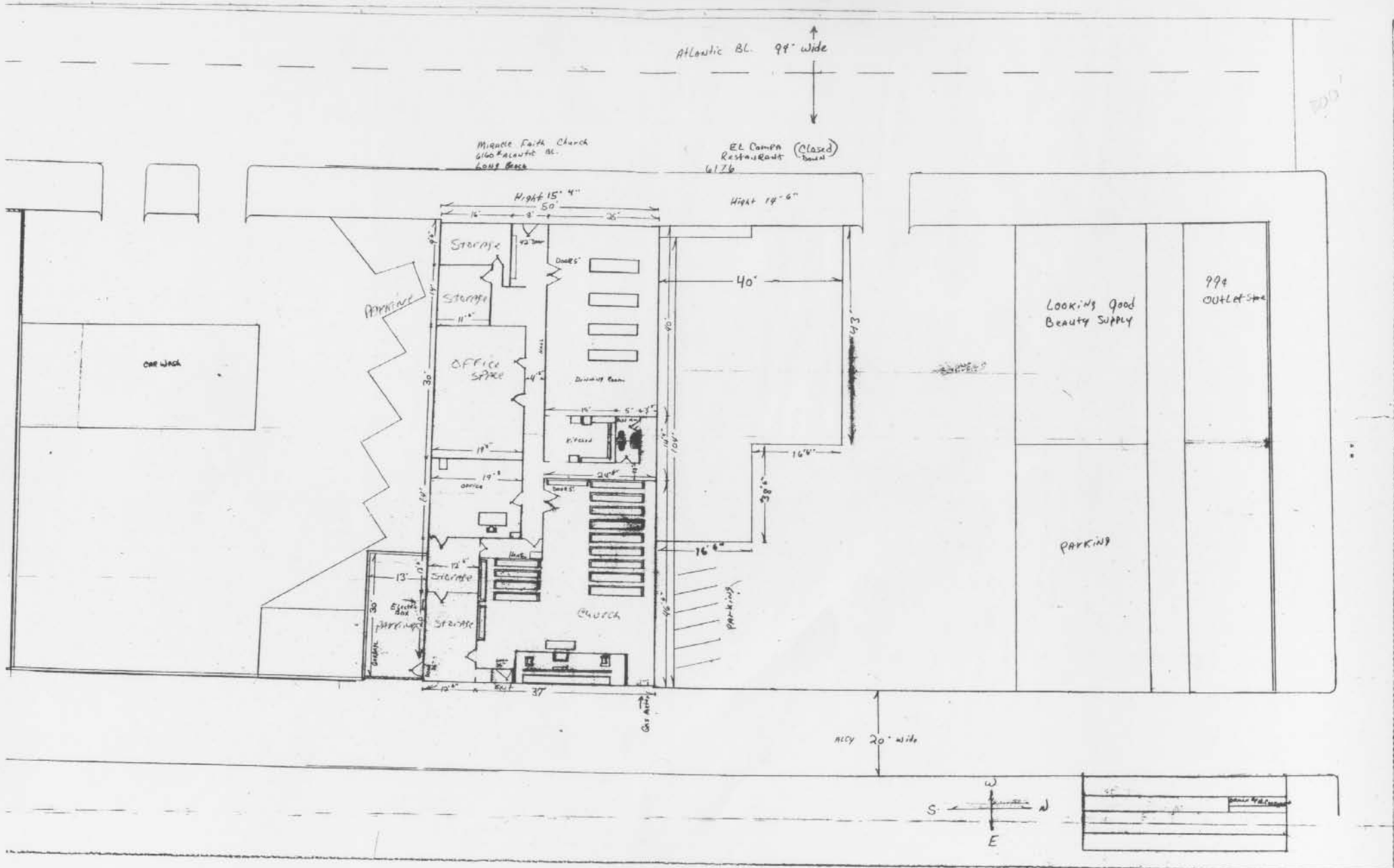
ADDRESS:  
5400 ATLANTIC AVE  
LONG BEACH, CA 90805

PROJECT TITLE:  
NEW CAR WASH AT EXISTING GASOLINE  
STATION AND FOOD STORE



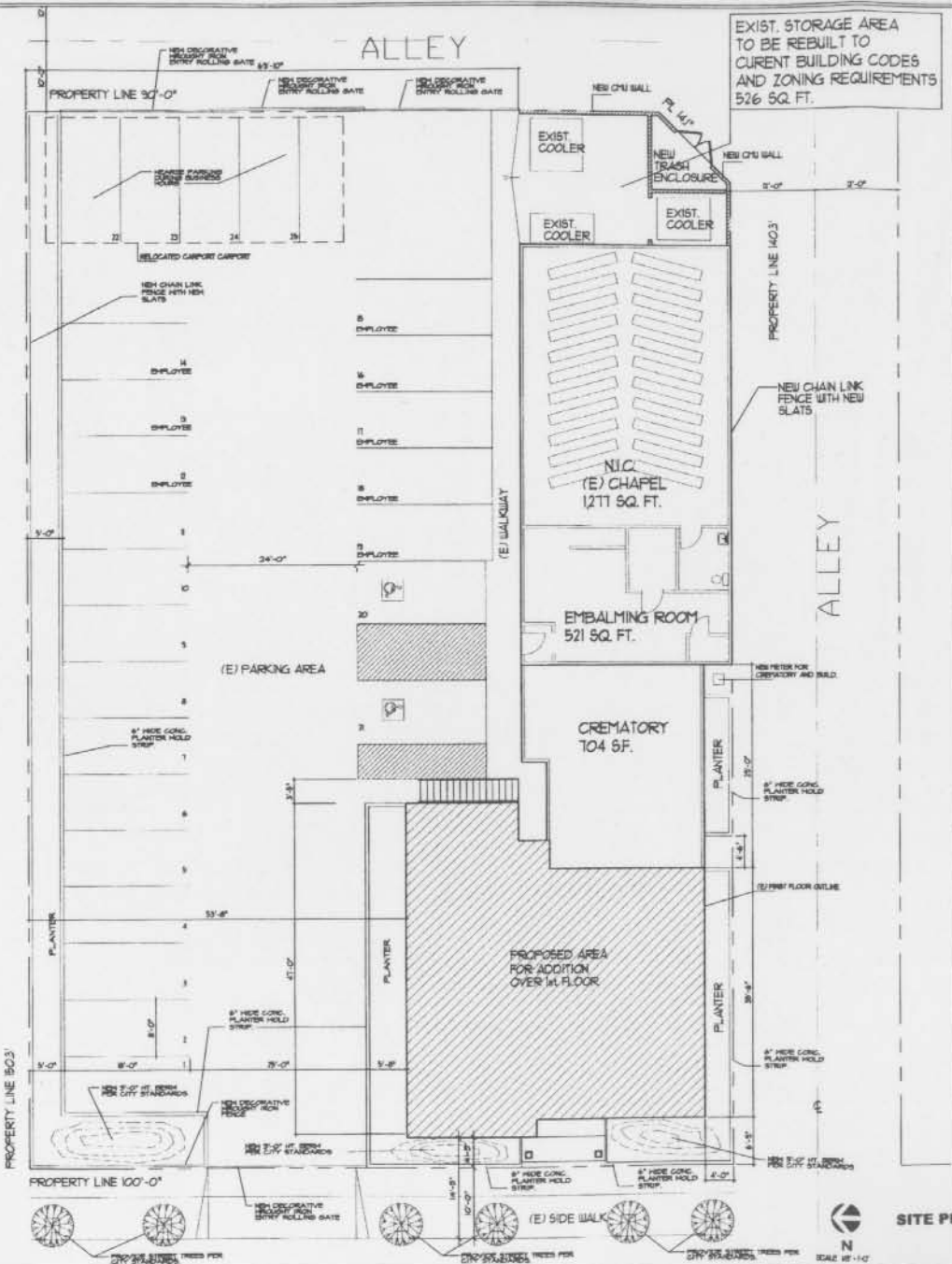
Gasoline  
Retail  
Facilities  
Consulting

SHEET CONTENTS:  
CAR WASH  
ELEVATIONS

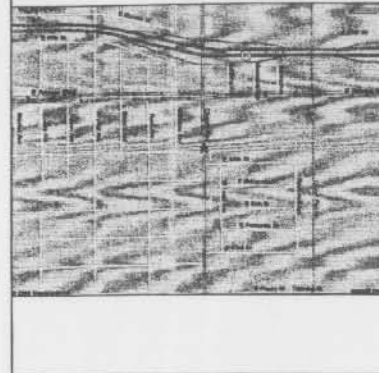


# ATTACHMENT 11

## PROPOSED SITE PLAN



## VICINITY MAP



## NOTES

### FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH (F.O.F.) UNLESS OTHERWISE NOTED.
2. VERIFY EXISTING DIMENSIONS FROM EXISTING RESIDENCE.
3. SLEEP ROOMS: AT LEAST ONE WINDOW WITH CLEAR OPENING SHALL BE AT LEAST 575 SQFT/12" HIGH X 20" WIDE AND FIN. SILL HEIGHT SHALL NOT EXCEED 4" FROM FIN. FLOOR.
4. SAFETY GLASS FOR GLAZING IN HAZARDOUS LOCATIONS SUCH AS GLASS DOORS, GLASS WINDOWS ADJACENT TO DOORS AND WALKING SURFACES SHALL BE PROVIDED.
5. PROVIDE SHATTERPROOF GLASS ENCLOSURE AT SHOWER AND TUB AREAS.
6. ALL INTERIOR WALLS SHALL HAVE 5/8" GYP. SO-HIGH (UNO).

## HOURS OF OPERATION

HOURS OF OPERATION	800 AM - 530 PM
TYPICAL HOURS OF SERVICES	830 - 530 DEPENDING ON ARRANGEMENTS WITH FAMILIES
AFTER HOURS OPERATION	530 PM - 730 PM DEPENDING ON ARRANGEMENTS WITH FAMILIES
AVERAGE SERVICE LAST ABOUT 3 HRS.	
NUMBER OF EMPLOYEES	7
TYPICAL AMOUNT OF SERVICES IF ONE WHEEL 1 SERVICE PER WEEK	
TYPICAL SERVICES PERFORMED AT MORTUARY: EMBALMING AND PREPARATION OF BODIES FOR CREMATION	
TANDEM PARKING:	
VISITORS WILL ENTER THROUGH ALLEY ADJOINING CHERRY AVE AND WILL BE DIRECTED BY THE TRAFFIC SIGHT OFFICER TO BACK GATES FROM THEIR THE OFFICERS WILL DIRECT THE CARS INTO THEIR PROPER LINES. DEPARTING CARS WILL THEN BE DIRECTED BY THE OFFICER OUT INTO THE STREET AND LED BY THE LEAD OFFICER INTO THE DIRECTION TO GO.	

## SHEET INDEX

T-1	PROPOSED SITE PLAN / TITLE SHEET
A-1	SITE PLAN W/ TANDEM PARKING LAYOUT
A-1	MOORING PARKING LAYOUT
A-1	1ST & 2ND FLOOR PLAN
A-3	EXTERIOR ELEVATIONS
CA-1	CONDITIONS OF APPROVAL

## PROJECT LEGEND

**CLIENT:**  
AFFORDABLE MORTUARY & CREMATION  
400 CHERRY AVE  
LONG BEACH, CA

**PROJECT ADDRESS:**  
AFFORDABLE MORTUARY & CREMATION  
400 CHERRY AVE  
LONG BEACH, CA

### GENERAL INFORMATION

**ZONE:**  
**OCCUPANCY:** CCA  
**CONSTRUCTION TYPE:** TYPE VCB

### LEGAL DESCRIPTION:

<b>PARKING:</b>	
REGULAR STALLS	21
TANDEM FUNERAL STALL	40
HEARSE PARKING STALLS	4

## FLOOR AREAS

<b>FIRST FLOOR AREA:</b>	
EXISTING CHAPEL	1377 SQ. FT.
EXISTING EMBALMING ROOM	521 SQ. FT.
EXISTING MORTUARY - FIRST FLOOR	1716 SQ. FT.
EXISTING REFRIGERATION ROOM - FIRST FLOOR	704 S.F.
PROPOSED CREMATORIUM	
<b>TOTAL:</b>	4736 S.F.
<b>PROPOSED SECOND FLOOR AREA:</b>	
PROPOSED MORTUARY OFFICE - SECOND FLOOR	
<b>TOTAL:</b>	1060 S.F.
<b>FIRST FLOOR TOTAL SQUARE FOOTAGE</b>	8596 S.F. @ 35%
<b>ALLOWABLE SECOND FLOOR AREA</b>	1,063.75 S.F.
<b>PROPOSED SECOND FLOOR SQUARE FOOTAGE</b>	

**LANDSCAPING**  
1. ALL PLANT SHALL NOT BE LESS THAN FIVE GALLON.  
2. ALL LANDSCAPED AREAS SHALL BE SERVED BY AUTOMATIC IRRIGATION SYSTEM.



**AFFORDABLE BURIAL & CREMATION**  
PROPOSED CREMATORY

4814 CHERRY AVE  
LONG BEACH, CA 90805

DESIGN BY: B. RODNEY  
DRAWN BY: JY  
SCALE: AS NOTED  
PROJECT No.:  
DATE: 5-20-05

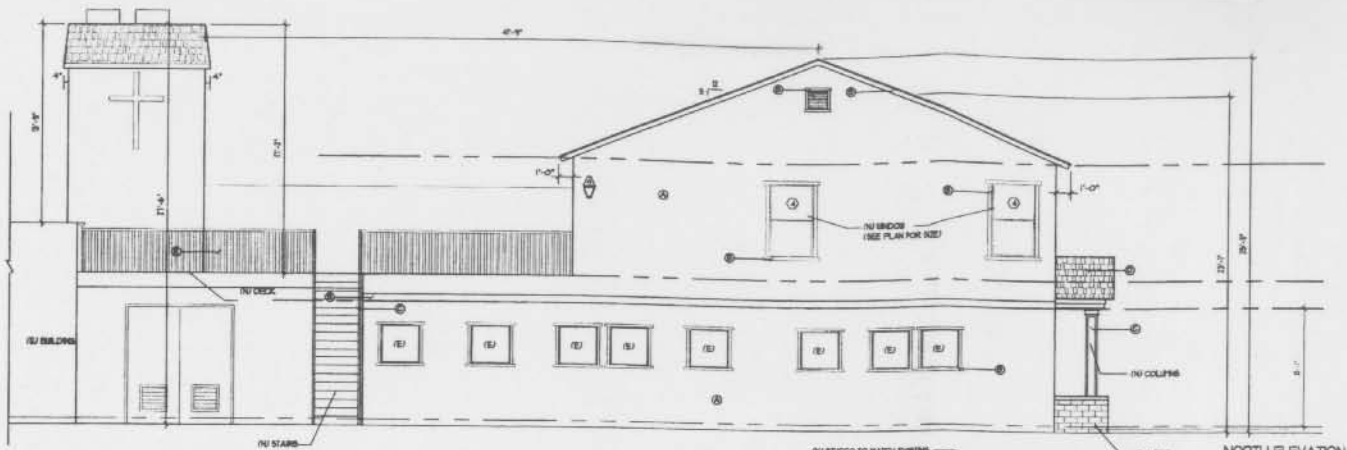
**REVISIONS:**  
1. ALL DIMENSIONS ARE TO FACE OF FINISH (F.O.F.) UNLESS OTHERWISE NOTED.  
2. VERIFY EXISTING DIMENSIONS FROM EXISTING RESIDENCE.  
3. SLEEP ROOMS: AT LEAST ONE WINDOW WITH CLEAR OPENING SHALL BE AT LEAST 575 SQFT/12" HIGH X 20" WIDE AND FIN. SILL HEIGHT SHALL NOT EXCEED 4" FROM FIN. FLOOR.  
4. SAFETY GLASS FOR GLAZING IN HAZARDOUS LOCATIONS SUCH AS GLASS DOORS, GLASS WINDOWS ADJACENT TO DOORS AND WALKING SURFACES SHALL BE PROVIDED.  
5. PROVIDE SHATTERPROOF GLASS ENCLOSURE AT SHOWER AND TUB AREAS.  
6. ALL INTERIOR WALLS SHALL HAVE 5/8" GYP. SO-HIGH (UNO).

REVISIONS:  
1.  
2.  
3.  
4.

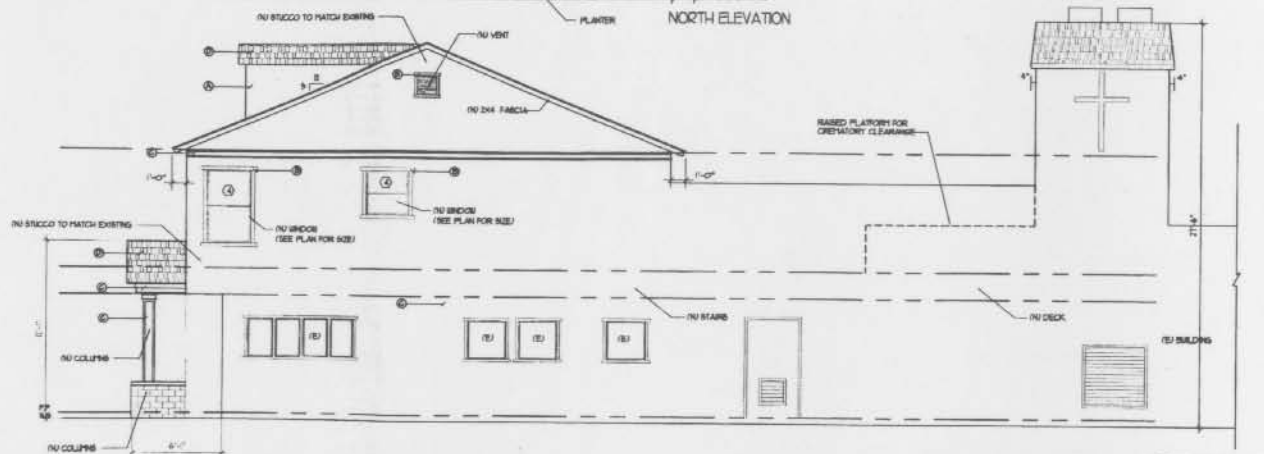
**T-1**

SHEET 1 OF 1

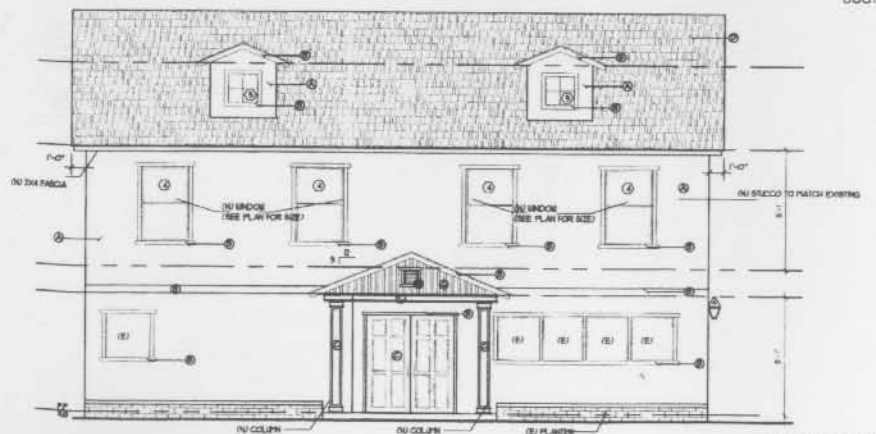
# ATTACH. 11 (Cont.)



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



**AFFORDABLE BURIAL & CREMATION  
PROPOSED CREMATORY**

8511 CHERRY AVE  
LONG BEACH, CA 90805

DESIGN BY: B. RODGWAY  
DRAWN BY: JT  
SCALE: AS NOTED  
PROJECT NO.:  
DATE: 4-25-05

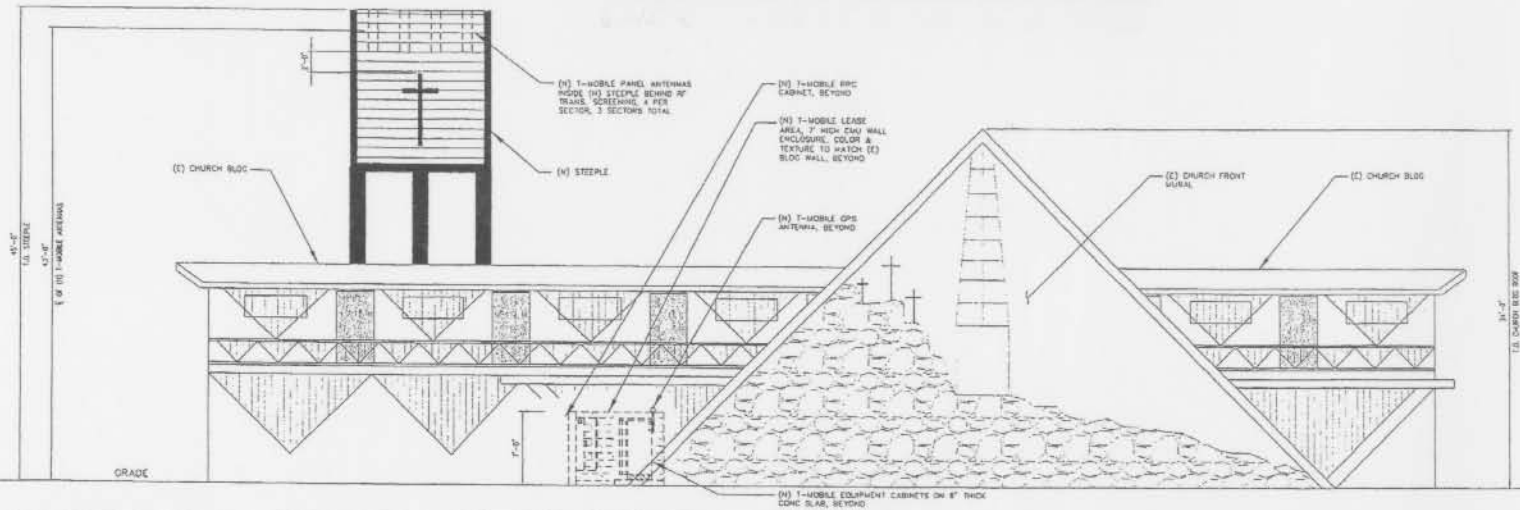
**REVISIONS:**  
1. SEE PLAN FOR SIZE OF CREMATORY CLEARANCE  
2. SEE PLAN FOR SIZE OF CREMATORY CLEARANCE  
3. SEE PLAN FOR SIZE OF CREMATORY CLEARANCE  
4. SEE PLAN FOR SIZE OF CREMATORY CLEARANCE  
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9. SEE PLAN FOR SIZE OF CREMATORY CLEARANCE  
10. SEE PLAN FOR SIZE OF CREMATORY CLEARANCE

**REVISIONS:**  
1. SEE PLAN FOR SIZE OF CREMATORY CLEARANCE  
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9. SEE PLAN FOR SIZE OF CREMATORY CLEARANCE  
10. SEE PLAN FOR SIZE OF CREMATORY CLEARANCE

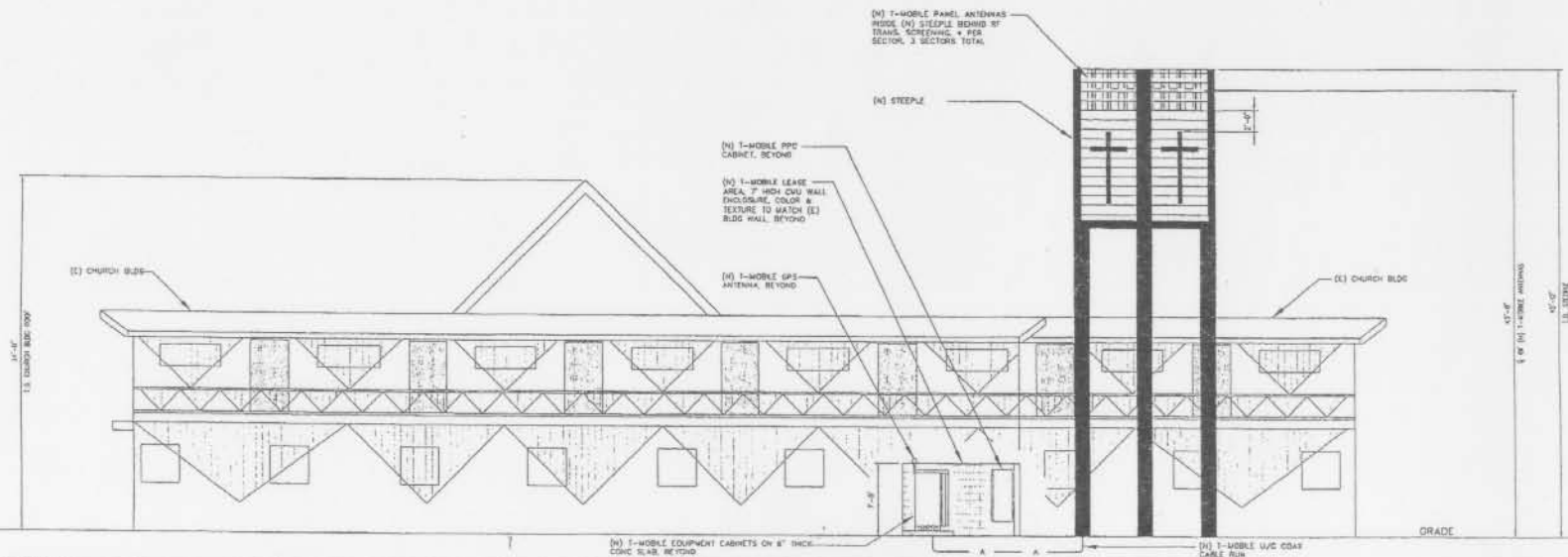
**A3**

SHEET 1 OF 1

## ATTACHMENT 12



NORTH ELEVATION



SOUTH ELEVATION

DATE:		02/22/06	
CIVIL ENGINEER		COO	
DRAWN BY:		BB	
CHECKED BY:		JPC	
REVISIONS			
REV	DATE	DESCRIPTION	BY
A	02/17/06	ISSUED FOR REVIEW AND COMMENT	BB
B	02/22/06	ISSUED FOR SUBMITTAL	JPC

PROPRIETARY INFORMATION  
THE INFORMATION CONTAINED IN THIS SET  
OF DRAWINGS IS PROPRIETARY BY NATURE.  
ANY USE OR DISCLOSURE OTHER THAN  
THAT WHICH RELATES TO TAKING IS  
STRICTLY PROHIBITED.

CLUE:

**T-Mobile**  
3 IMPERIAL PROMENADE, SUITE 1100  
SANTA ANA, CA 92707

PROJECT MANAGER:

CIVIL ENGINEER.

www.pearsoned.com.au

004: 00-9027

CONSULTANT:



**Trillium Telecom  
Services, LLC**  
5972 Balboa Ave., Huntington Beach, CA 92649

SCALE:

SITE NAME: GLAD TONGS CHURCH

STG NUMBER: U403579

SITE TYPE: STEEPLE ANTENNA INSTALLATION

LOCATION:  
1900 E. SOUTH STREET  
LONG BEACH, CA 90805  
COUNTY OF LOS ANGELES

APPL. TYPE

NORTH & SOUTH  
ELEVATIONS

SHEET NUMBER

A-3

# ATTACHMENT 12

REVISED

DATE: 04/21/06  
CIVIL ENGINEER: CDG  
DRAWN BY: BB  
CHECKED BY: JPC

REVISIONS		
REV	DATE	DESCRIPTION
A	02/17/06	ISSUED FOR REVIEW AND COMMENT
B	02/22/06	ISSUED FOR SUBMITTAL
C	04/21/06	ISSUED FOR SUBMITTAL

PROPRIETARY INFORMATION  
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY TO T-MOBILE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO T-MOBILE IS STRICTLY PROHIBITED.

CLIENT:  
**T-Mobile**  
3 IMPERIAL PROMENADE, SUITE 1100  
SANTA ANA, CA 92707

PROJECT MANAGER:

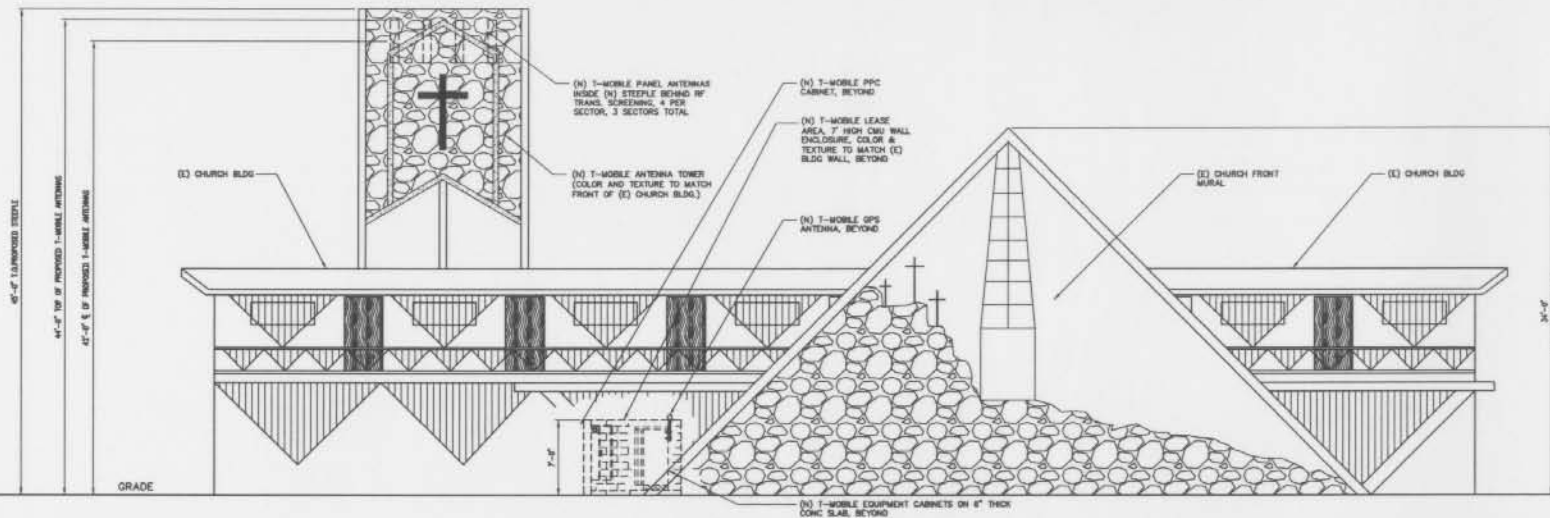
CIVIL ENGINEER:  
**CDG**  
CORNELL DESIGN GROUP, LLC  
3000 E. 10TH STREET, SUITE 100  
DENVER, CO 80202  
CDG# 06-9027

CONSULTANT:  
**Trillium Telecom Services, LLC**  
1111 Bala Ave., Huntington Beach, CA 92649

SCALE:

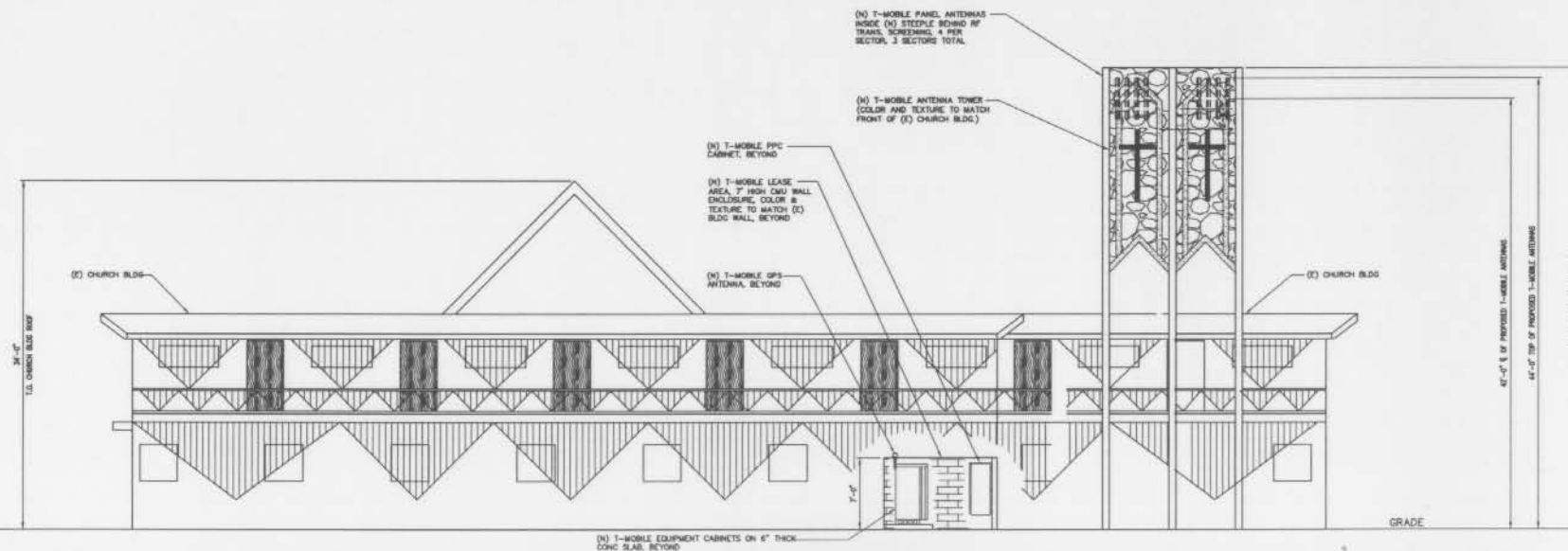
SITE NAME: GLAD TIDINGS CHURCH  
SITE NUMBER: LA03579  
SITE TYPE: STEEPLE ANTENNA INSTALLATION  
LOCATION: 1900 E. SOUTH STREET LONG BEACH, CA 90805 COUNTY OF LOS ANGELES  
APPL. TYPE:  
TITLE: NORTH & SOUTH ELEVATIONS  
SHEET NUMBER:

A-3



NORTH ELEVATION

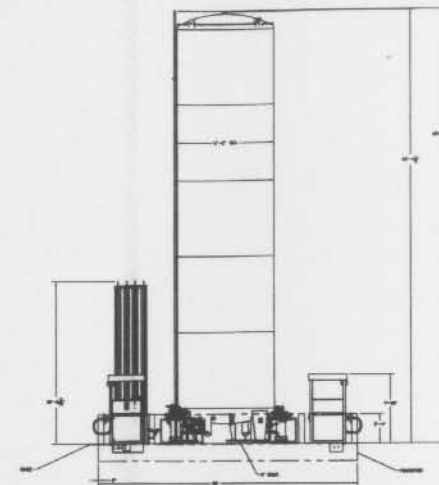
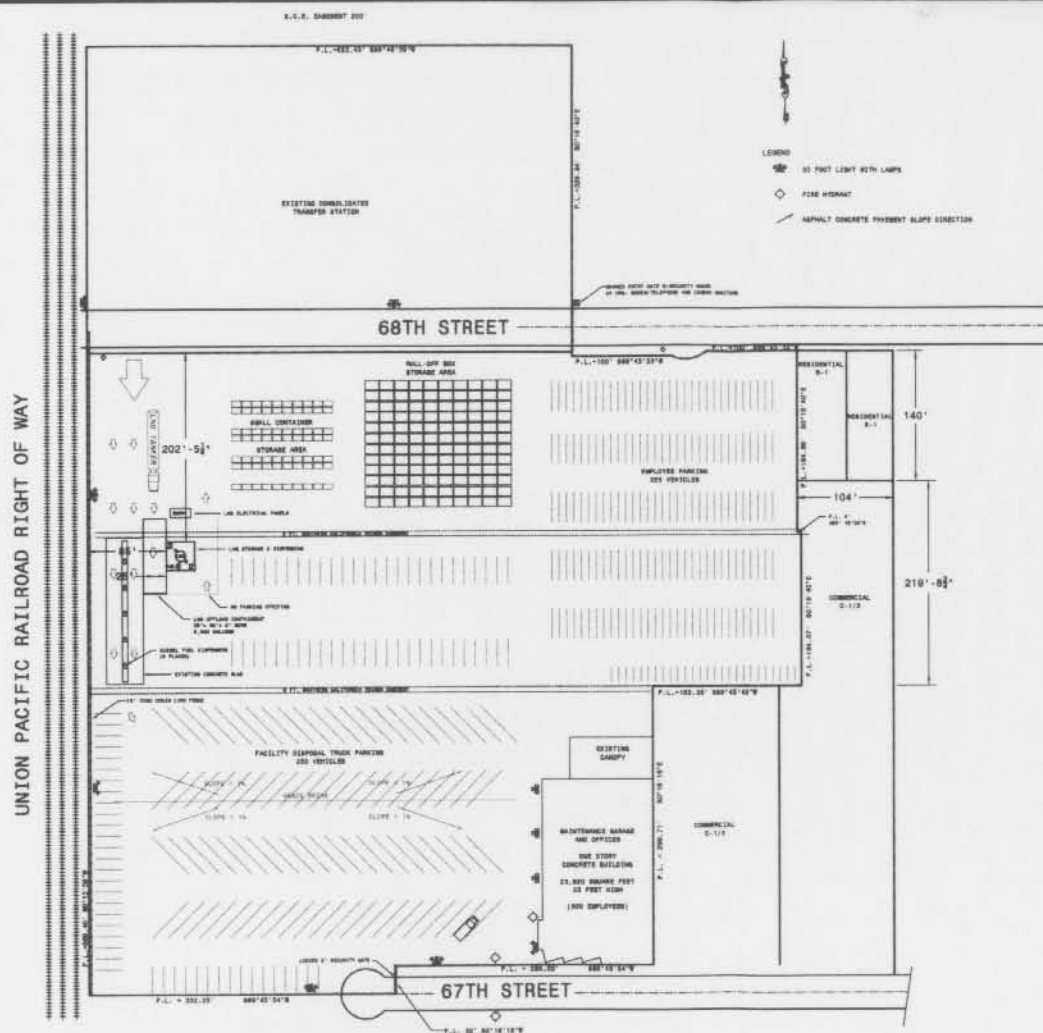
SCALE: 1/8\"/>



SOUTH ELEVATION

SCALE: 1/8\"/>

# ATTACHMENT 13



## Notes:

1. Original CUP (Conditional Use Permit) August 1998  
9805 - 11  
9805 - 18
2. See NPDES Report for site drainage details
3. Site area 184,374 S.F. - 4.2 acres  
Building 15,055 S.F.  
Area/Building Ratio = 15,055/184,374 = 8%
4. No trees on the site
5. Two site easements; SCE and PUC
6. Minimum Changes in vehicle parking; 6 parking spots will be used for the LNG Station. Vehicles will be relocated onsite.
7. Plot at Architectural "D" size 36"x 24".

SCALE: 1/8"=1'		DATE: 02-12-05		REVISIONS:		REV. BY:	
DRAWN BY: SFL		DATE: 02-14-05		Rev. A, Add Elevation View		P.L.	
CHECKED BY:		DATE:		Rev. B, Add Parking Details		S.L.	

## Weaver Electric, Inc.

DATE: 02-12-05  
BY: SFL  
REV: 02-14-05

PROJECT: 118  
REV: 02-14-05

PROJECT:  
Consolidated Refuse  
LNG-LCNG Fueling Station

SHEET NAME:  
Consolidated Refuse  
Site Plan View

SHEET:  
**S-1**  
SHEET 1 OF 1



**ATTACH. 13 (Cont.)**



1. Original CUP (Conditional Use Permit) August 1998  
9805 - 11  
9805 - 18
2. See NPDES Report for site drainage details
3. Site area 184,374 S.F. - 4.2 acres  
Building 15,055 S.F.  
Area/Building Ratio = 15,055/184,374 = 8%
4. No trees on the site
5. Two site easements; SCE and PUC
6. Minimum Changes in vehicle parking; 6 parking spots will be used for the LNG Station. Vehicles will be relocated onsite.
7. Plot at Architectural "D" size 36"x 24".

SHEET:  
**S-1**  
SHEET 1 OF 1

# ATTACHMENT 14

## LA0580A North Long Beach Christian Center View One

1115 E. Market St. Long Beach, CA 90805

PROPOSED (6) ROYAL STREET COMM.LLC  
ANTENNAS CONCEALED INSIDE  
(E) T-MOBILE TOWER

PROPOSED ROYAL STREET  
COMM.LLC EQUIPMENT LOCATED  
INSIDE (E) ROOM (FAR SIDE)

(E) ANTENNAS CONCEALED BY OTHERS

(E) TOWER

(E) SANCTUARY

Existing

Proposed

# Royal Street Communications, LLC



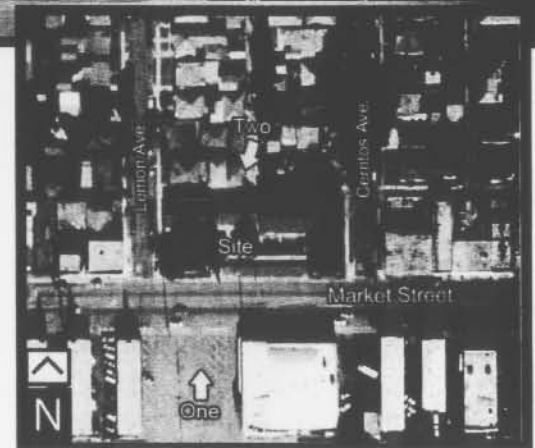
Pacific Communication  
Group, Inc



**VIDEO**  
SIMS

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Key Map

# ATTACHMENT 15

LA0573A D&S Transportation  
View One

6956B Cherry Ave , Long Beach, CA 90805

PROPOSED ROYAL STREET COMM.LLC  
MICROWAVE DISH MOUNTED  
ON (E) SCE TOWER

PROPOSED (6) ROYAL STREET COMM.LLC  
ANTENNAS MOUNTED ON (E) SCE TOWER

PROPOSED ROYAL STREET  
COMM.LLC EQUIPMENT LOCATED  
INSIDE PROPOSED 6' HIGH CHAIN LINK  
ENCLOSURE

(E) SCE TOWERS

Existing

Proposed

*Steel  
wall  
5' high up?*

## Royal Street Communications, LLC



Pacific Communication  
Group, Inc



**VIDEO**

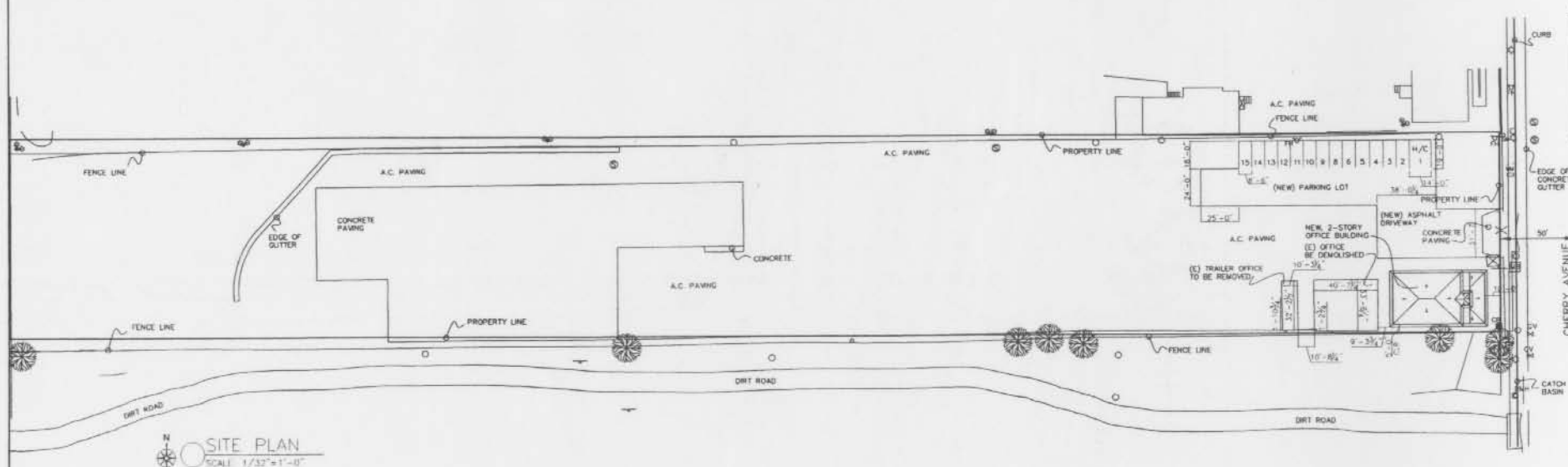
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We make your development decisions predictable  
online @ [www.videosims.com](http://www.videosims.com)



Key Map

## ATTACHMENT 16



NEW OFFICE BUILDING  
6901 CHERRY AVE.  
LONG BEACH, CA 90805

SITE PLAN

Job No.
Drawn By
Date
Scale NOTED
Sheet No.

A-1

CHAO & ASSOCIATES CONSULTING ENGINEERS INC.

Structural/Seismic/Forensic

2849 E. VALLEY BLVD., SUITE #C, WEST COVINA, CA 91792  
TEL: 626-581-8861 626-786-9558 FAX: 626-581-1228

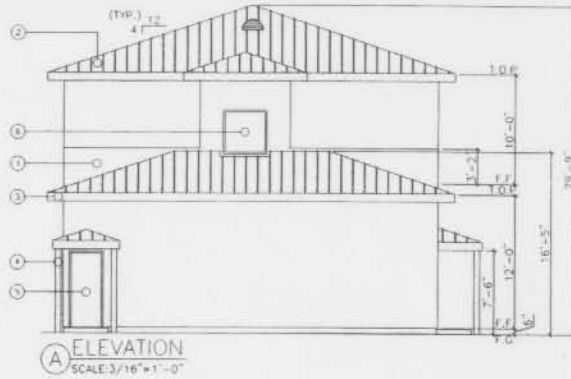


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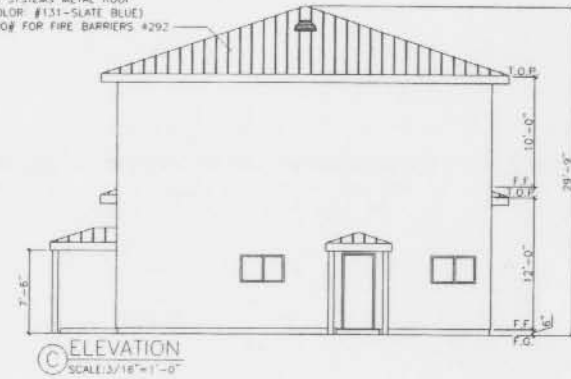
CH2M HILL AND ASSOCIATES  
CONSULTING ENGINEERS 1996  
ALL RIGHTS RESERVED

[illegible]

# ATTACH. 16 (Cont.)

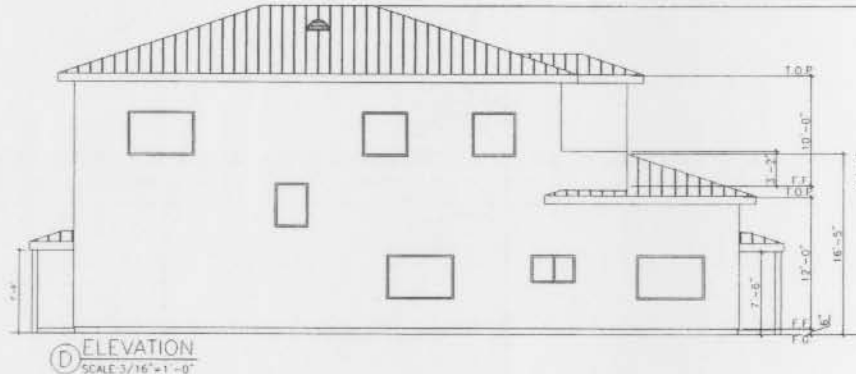
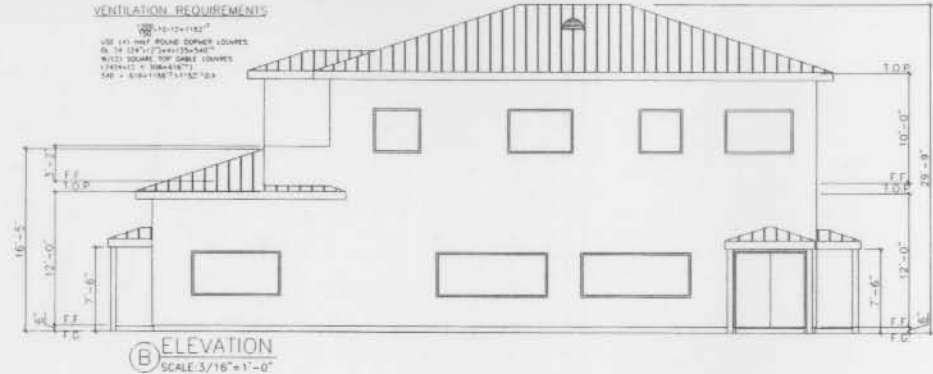


MM SYSTEMS METAL ROOF  
(COLOR: #131-SLATE BLUE)  
KBO# FOR FIRE BARRIERS #292

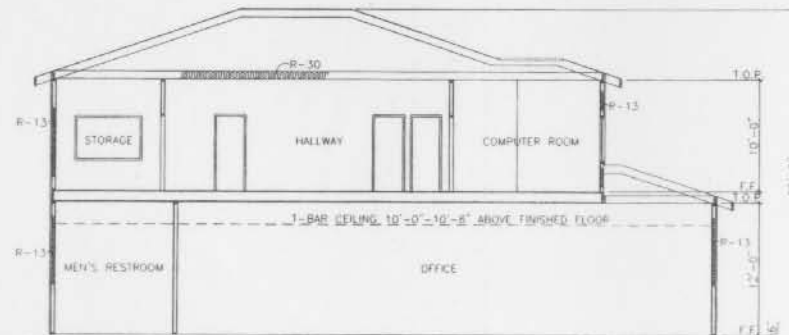
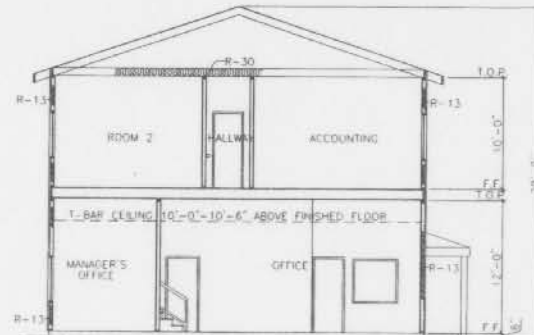


## VENTILATION REQUIREMENTS

100' x 12' x 11' 11/2"  
100' x 12' x 11' 11/2"  
100' x 12' x 11' 11/2"  
100' x 12' x 11' 11/2"  
100' x 12' x 11' 11/2"  
100' x 12' x 11' 11/2"  
100' x 12' x 11' 11/2"  
100' x 12' x 11' 11/2"



KEY	COLOR	INFORMATION
1		STUCCO, 7/8" x 3/4" CLAY (BASE 200) OF 1/4" MEDIA STUCCO, (909) 855-3549
2		MM SYSTEMS METAL ROOF KBO# FOR FIRE BARRIERS #292
3		EXTERIOR PAINT (SIMILAR TO) CANNON SPICE ECC-BD BHER PAINTS
4		DOORS (SIMILAR TO) CANNON SPICE ECC-BD BHER PAINTS
5		WINDOWS (SIMILAR TO) CANNON SPICE ECC-BD BHER PAINTS
6		WINDOWS BLACK COLOR



CHAO & ASSOCIATES CONSULTING ENGINEERS INC.

Structural/Seismic/Forensic

2649 E. VALLEY BLVD., SUITE #C, WEST CONCHA, CA 91752  
TEL: 626-581-8861 626-786-9558 FAX: 626-581-1228



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## REVISIONS

No.	DATE	DESCRIPTION

NEW OFFICE BUILDING  
8901 CHERRY AVE.  
LONG BEACH, CA 90805

Job No.

Drawn By

Date

Scale 3/16"=1'-0"

Sheet No.

ELEVATIONS

A-3

# ATTACHMENT 17

## GENERAL NOTES:

1. Cons. to be 2000 p.s.i. @ 28 days, Type V.
2. All items to be grade marked as follows:  
A. Vertical grade construction and grade.  
B. Horizontal grade & vertical curve.  
C. Beams & members of 1/2" x 1/2".  
D. Plywood door & not slip Panel Index 10-10.
3. Being exterior wood doors to be equipped with a deadbolt & deadlocking device both key operated from outside. Deadbolt to have a hardened insert, 1" dia. Round, and 5/8" endowment into the jamb.
4. Wood doors to be min. 1-3/8" thick. Doors with accessible pins from exterior shall have non-removable pin type hinges. Door stop to be one piece construction or joined by a rabbet.

5. Shifting glass doors & windows shall be capable of withstanding burglary resistance test per local building authority or A.S. Best 8100.8 8107 or L.A. County Building Code and bear lowest entry resistance value.
6. Doors & windows opening by exterior or an unconditioned space shall be weatherstripped to limit air infiltration. All sliding exterior glass doors and windows shall meet air infiltration standards as required by federal and/or local authority and be certified and labeled thus.
7. Insulation compliance card shall be posted in a conspicuous location within the building.
8. Inspection is required for all in-place interior and exterior work or weathered before any raftering is covered.
9. Shower/tub enclosures and doors to be 3/8" fully tempered, 1/4" thickener approved plastic. All doors to swing out from shower compartment.
10. Walls at showers and tubs shall be approved tile, fiberglass, or cement plaster to 8'-0" above the finish floor. Material other than structural elements to be moisture resistant.

11. Fan systems extending out from the building to be equipped with back draft devices.
12. Handrails & guards shall be designed to withstand 20 lbs. of lateral force at top of rail. Lag screws to attach handrails or approved framing members. Railing with open sides to have intermediate rails or balusters @ 4" o.c. maximum.
13. Handrails to be 30" to 36" above finish footing, 1-1/2" clear on wall, 3-1/8" rope width, and made turned to wall or support posts.

**OWNER APPROVAL NOTE:**  
Contractor is not responsible for existing work conditions or unknown conditions on the site. If these prevail an additional cost will be added before work will continue.  
Additional to changes in these plans or specifications will be an additional charge.  
All extra work orders are payable in advance of the work being performed.  
Contractor will also be the job in progress payments are not paid when due and time added to the completion date equal to two days for each day the payment is not made.

Specification items not shown do not exist & are not included.  
Matching of new material to the existing will be as close as possible with standard material nearby available.  
We have read and fully understand these plans and specifications and agree them for construction. We understand that these plans along with the contract constitute the entire agreement and verbal agreements will not be honored.

DATE: 10/10/10  
DATE: 10/10/10

## SPECIFICATIONS

### EXISTING CONDITIONS & DEMO.

DOOR TYPE	FLOOR
HT ABOVE GRADE	OVERLAYS
CEILING	INTERIOR
CEILING HT	FACIA
STUCCO STYP	BARCUT
DEMO SLAB	STUCCO STYP
FINISHING	FINISHING
FRAMES	FENCE
CEMENTATION	CEMENTS
PATIO ROOF	CHALKHOLE
TILE/MICA	

### CONCRETE

SLAB FLOOR	HT ANY GRD
STEM WALL	HT ANY GRD
STEP STUCCO	FINISHING
EXPANDED SOIL	PIERS
CEMENTATION	CURBS
DRIVEWAY	APPROACH
FLATWORK	

### ROUGH FRAMING (per plans)

ROOF STYLE	OPEN BM
DRIP EDGE	FLASHING
PATIO ROOF	FLASHING
CEILING TYPE	
WALLS	

### WINDOW SCHEDULE

NO.	SIZE	TYPE	GLASS/PANE

### DOOR SCHEDULE

NO.	SIZE	TYPE	OPERATION	LOCK

### ROOFING

ROOF EAVES	
MATERIALS	
CRACKS	
PARAPET WALL	DRAIN
AS-ROOF HOUSE	GARAGE

### PLUMBING

TOILET	FAUCET
LAVATORY	
TUB	W/SHOWER
BROWER	
SEWER TIE IN	
SKALING TO FIREPLACE	
GASLINE TO OTHER	
WALL ETS	HT THERMO
PAU	HT W/A C
BAR SINK	
GARAGE DISPOSAL	
HOOK UP APPLIANCES	
R/W	RANGE
	OVEN
	ICE
RELOCATE EXISTING PLUMBING	
WASHER	OTHER
WATER MTR	W/MT CAR
WATER MAIN	GAS METER
CLEAN OUT	HT R/W
LOWER WATER	W/BOILER
SPRINKLER	SAF
EXISTING TUB	TOILET
POOL TRAPS	YD. DRAIN

### ELECTRICAL

FLOOR	SWITCH	LIGHTS
OFF	W/MT	W/MT
EXT FAN	W/MT	W/MT
TV	W/MT	W/MT
POOR UP APPLIANCES	W/MT	W/MT
G.W.	W/MT	W/MT
WASHER	W/MT	W/MT
SMOKE DETECTOR	W/MT	W/MT
SERVICE INCREASE	W/MT	W/MT
UNDERGROUND	W/MT	W/MT
LUMINOUS CEILING	W/MT	W/MT

### INSULATION

EXTERIOR WALLS	
CEILING JOIST	
ROOF JOIST	W/PLYWOOD
EXISTING ATTIC	
EXTERIOR ROOF	

### EXTERIOR FINISH

STUCCO - MATCH EXISTING COLOR & TEXTURE AS SUBMITTAL	
PURCHASE & INSTALL MATERIALS THAT IS READY TO INSTALL	
SAVING, CUT AND BE SOLID ON COURT EXISTING	
HOUSE	GARAGE
SPANISH TEXTURE	
WOOD BOND	
TYPE OF MATERIAL:	

### INTERIOR FINISH SCHEDULE

ROOM	FLOOR	WALL	CEILING

### TRIM OUT

BASE & CASING	DOORS
CLOSET SHEDS & POLE	
LAUNDRY SHELF	CABINETS
TRIM PICES	
BATH ACCESSORIES	
CABINETS	KITCHEN
MISC	BATH

### CABINETS

KITCHEN	
BATH	
MISC	

### TILE-MICA-MARBELENE

KITCHEN DTR	SLASH
FULL BATH	SLASH
PASS THRU	
TRIM PICES	
SHOWER	
FLOOR	

### MASONRY

HEARTH	SIZE
CHIMNEY	DOUBLE
METAL BOY	
LOG LIGHTER	
STEPS	VENGE

### MISCELLANEOUS

PLANE	PERMITS
CLEANUP	PAINTING BY OWNER
SHOWER/TUB ENCLOSURE	DOOR
W/PAU	WOOD TAIL
HEAT SHUT	
OUTLET	DOWN SPOUT
APPLIANCE ALLOWANCE	

### PROPOSED ADDITION/REMODEL FOR

A-1000 SINGLE DWELLING RESIDENCE

PHONE # MAP #

SUBJECT/ADDRESS:

FRANK AGUILAR/

20 W. DEL AND 20

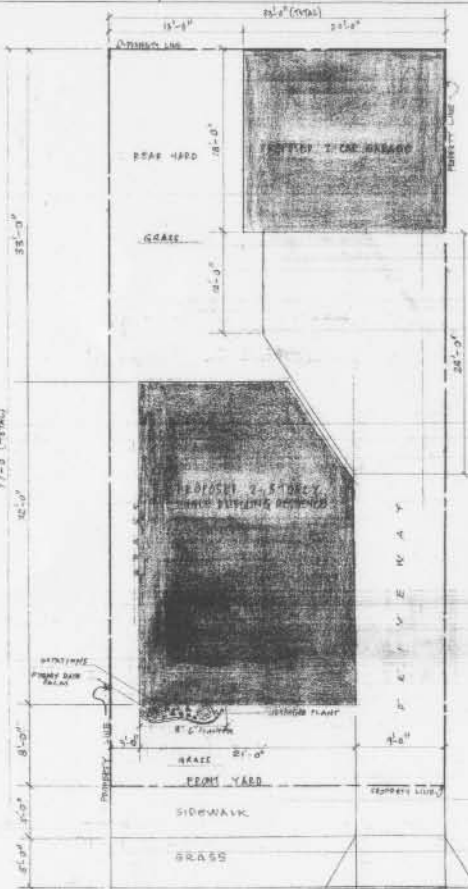
LONG BEACH

DATE

DRAFTSMAN

SALESMAN

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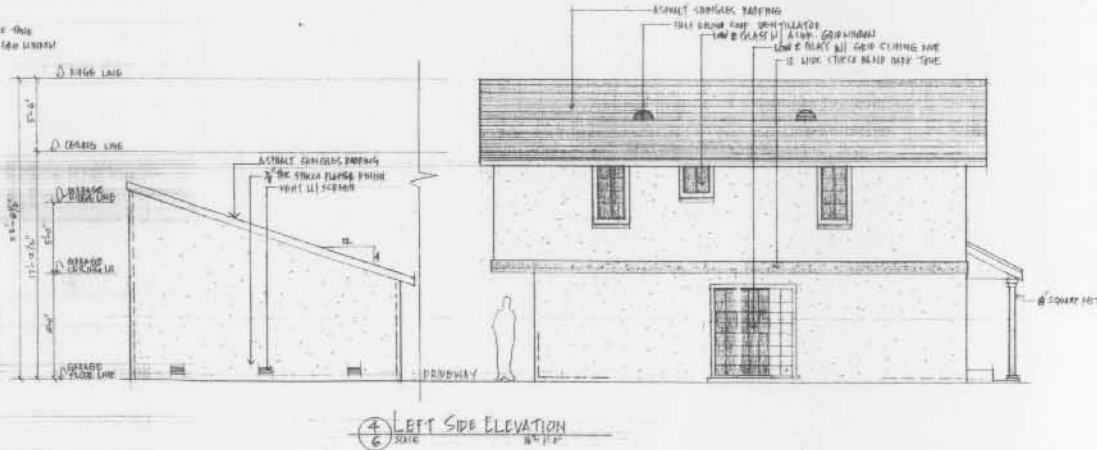
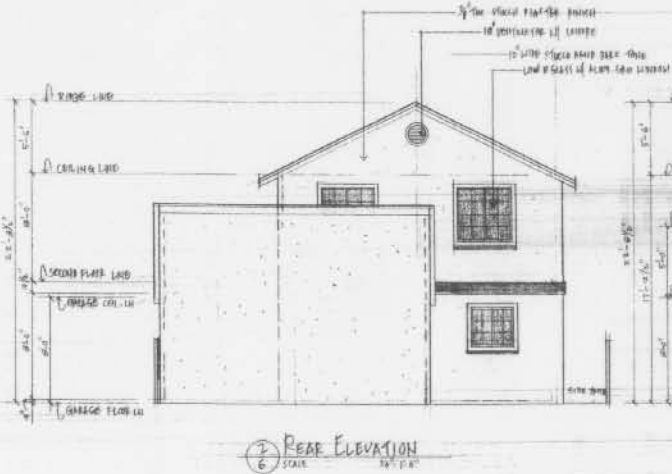
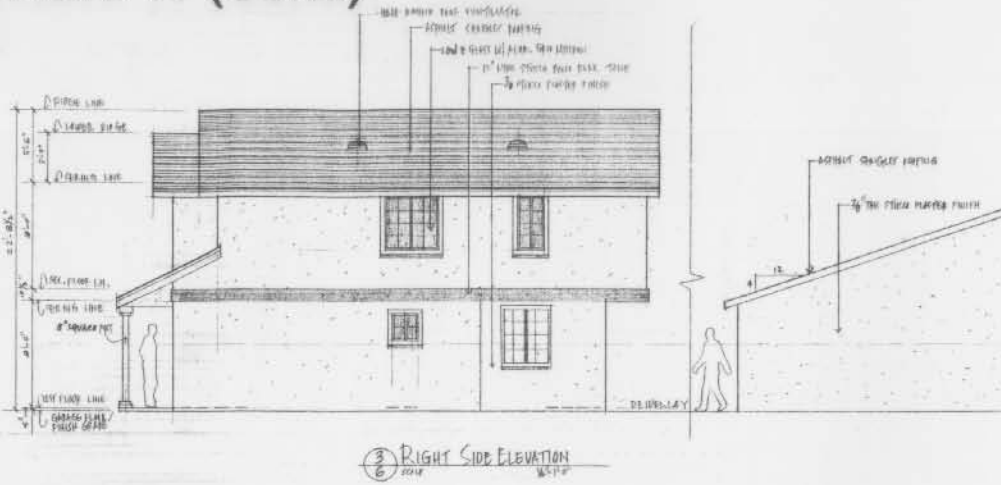
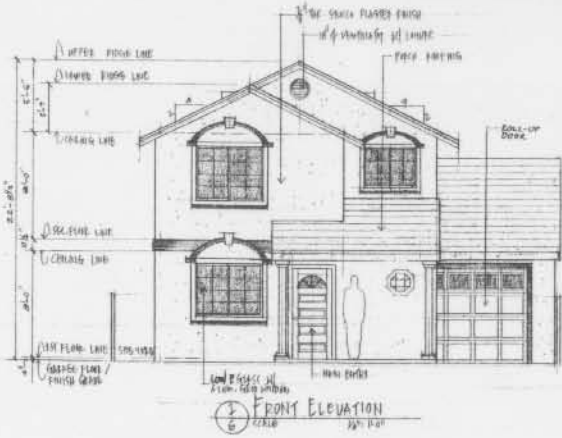


GROUND FLOOR AREA — 641.13 SQUARE FEET  
GARAGE (DETACHED) — 360.00 SQUARE FEET  
SECOND FLOOR AREA — 712.25 SQUARE FEET  
TOTAL FLOOR AREA — 1353.38 SQUARE FEET

AREA OF LOT = 33 X 73 = 2,409 SQUARE FEET

PLOT PLAN & LANDSCAPING  
SCALE 1/8\"/>



**ATTACH. 17 (Cont.)**

Date	Name of Project:	Chester Contents:
Dates	A-2 SONGBY THE WELLINGBENDANCE,	FRANK AGULING / 20 W. DEL AMO FRONT ELEVATION RIGHT SIDE ELEVATION, RIGHT SIDE ELEVATION LEFT SIDE ELEVATION
Joh		
School		
Drone		
Revisions		
By		



# ATTACHMENT 18

**Royal Street**  
Communications, L.L.C.

**LA0553B**

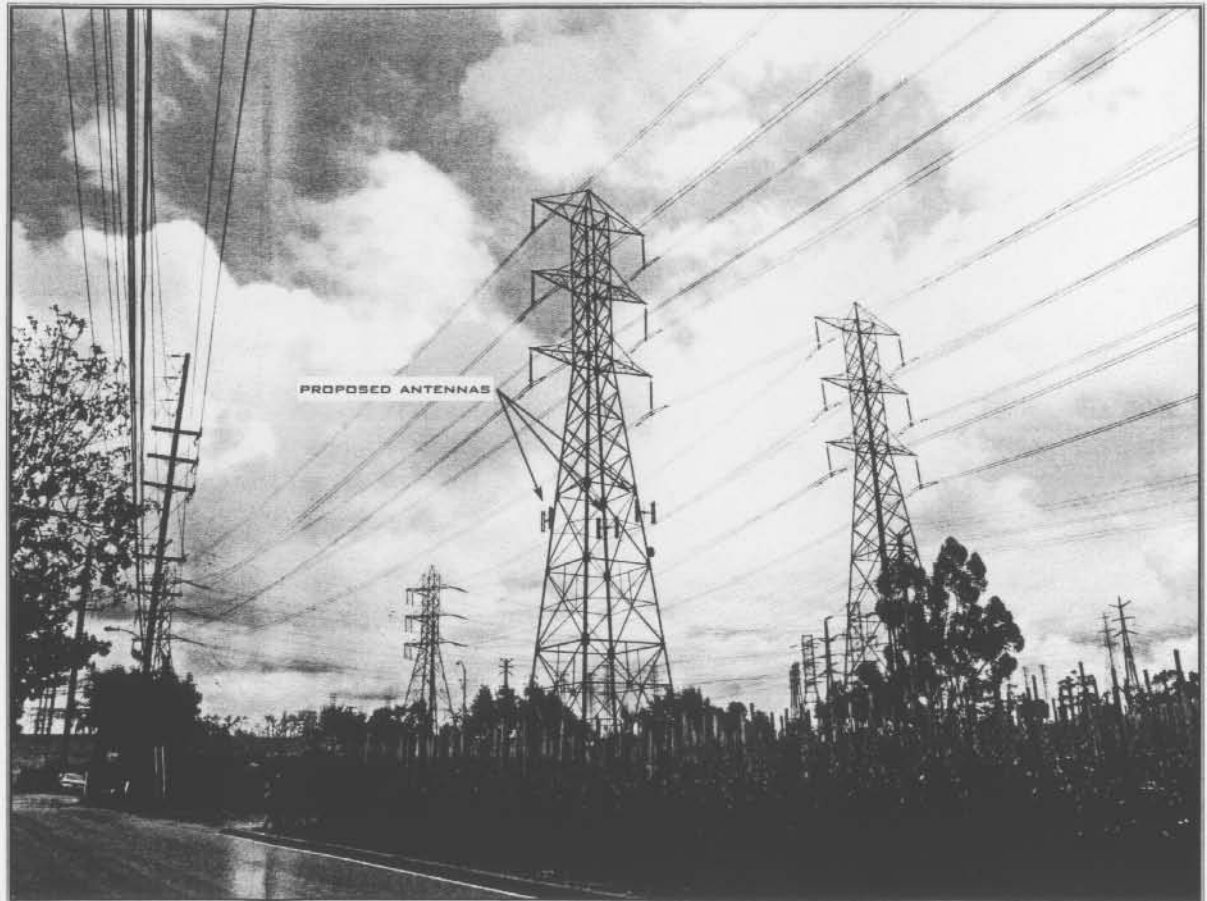
**SCE MESA REDONDO M1 T1**

**SCE TOWER AT GREENLEAF & ATLANTIC COMPTON CA 90221**

LOCATION



VIEW 1



EXISTING

PROPOSED - LOOKING SOUTHEAST FROM GREENLEAF AVENUE

**ARTISTIC**  
RENDERING  
(714) 680-3905

## ATTACHMENT 19

### PROJECT DATA

SITE AREA	13,281 SF
BUILDING AREA	
GROSS SF	3,877 SF
NET SF	3,453 SF

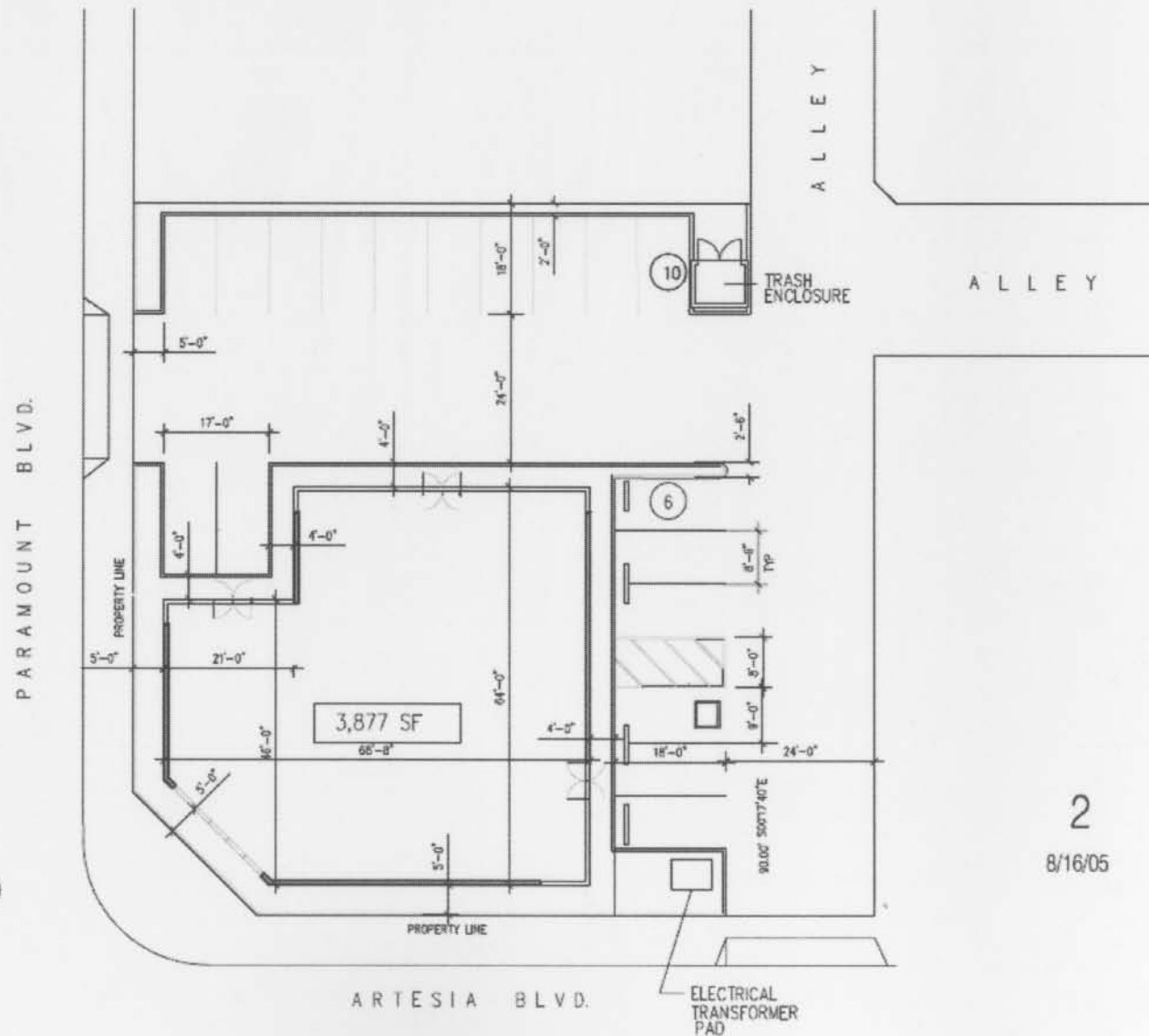
SITE COVERAGE 29%

PARKING REQUIRED	17 SPACES
PARKING PROVIDED	18 SPACES

THE DEMENSE GROUP  
8442 ALONDRA BLVD., PARAMOUNT, CA.  
(562) 634-9530

COMMERCIAL DEVELOPMENT  
2801 ARTESIA BLVD.  
LONG BEACH, CA.

## SITE PLAN

$$\frac{1}{16} = 1' - 0''$$


2

8/16/05

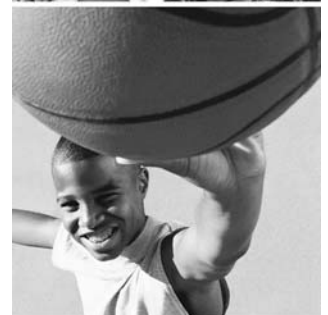
# Long Beach: we like it litter-free.



Join Councilmember Val Lerch at these upcoming  
9<sup>th</sup> District Saturday clean-up events for 2006:

- 1. June 17** **9 am - Noon**  
Orange Avenue corridor – South Street to Artesia Blvd  
Meet at 6095 Orange, Gethsemane Baptist Church parking lot
- 2. July 15** **9 am - Noon**  
Atlantic Avenue corridor – South Street to Artesia Blvd  
Meet at Houghton Park, NE corner of Harding St and Atlantic Ave
- 3. August 19** **9 am - Noon**  
Artesia Blvd corridor – Atlantic Avenue to Cherry Avenue  
Meet at NW corner business parking lot on Orange Ave and  
Artesia Blvd
- 4. September 16** **9 am - Noon**  
Artesia Blvd corridor – Paramount to Downey Blvds  
Meet at 3290 E. Artesia Blvd, Farmers and Merchants Bank  
parking lot
- 5. October 21** **9 am - Noon**  
Long Beach Blvd corridor – Artesia Blvd to city boundary  
Meet at 132 E. Artesia Blvd
- 6. November 18** **9 am - Noon**  
Cherry Avenue corridor – South Street to Artesia Blvd  
Meet at NE corner of Cherry Ave and South St at McDonald's  
parking lot

Additional support provided by Neighborhood Services Bureau  
High school community service hours available.



[www.litterfreeLB.org](http://www.litterfreeLB.org)

City of Long Beach Environmental Services Bureau

In accordance with the Americans with Disabilities Act of 1990, this information is available in an alternate format  
by calling (562) 570-2850 or calling TDD# 570-2863.

Printed on recycled paper.

# *San Pedro Bay Ports* Clean Air Action Plan

## Public Outreach Workshops

The San Pedro Bay Ports Clean Air Action Plan is a joint effort by the ports of Long Beach and Los Angeles to improve air quality in the San Pedro Bay. A series of workshops will be hosted by the ports of Long Beach and Los Angeles to discuss the plan and receive public comment. Come hear details of the Plan and let us know what you think:

### ► JULY 10

#### 6 p.m. Banning's Landing Community Center

100 Water Street, Wilmington  
Hosted by the Port of Los Angeles

### ► JULY 12

#### 7 p.m. City Council Chambers

333 W. Ocean Boulevard, Long Beach  
Hosted by the Port of Long Beach  
(Meeting will be broadcast on Long Beach Channel 8)

### ► JULY 19

#### 7 p.m. Cesar Chavez Park

401 Golden Avenue, Long Beach  
Hosted by the Port of Long Beach

### ► JULY 25

#### 6 p.m. Peck Park

560 North Western Avenue, San Pedro  
Hosted by the Port of Los Angeles

For more information, go to: [www.polb.com](http://www.polb.com), [caap@polb.com](mailto:caap@polb.com), call (562) 590-4121 or  
[www.portoflosangeles.org](http://www.portoflosangeles.org), [caap@portla.org](mailto:caap@portla.org), call (310) 732-3508.

The San Pedro Bay Ports Clean Air Action Plan has been developed by the ports of Long Beach and Los Angeles in cooperation with the South Coast Air Quality Management District, California Air Resources Board and U.S. Environmental Protection Agency.

